

**ALBERTA GOVERNMENT SERVICES  
LAND TITLES OFFICE**

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ARCHITECTURAL CONTROLS

RESTRICTIVE COVENANT

THIS AGREEMENT made as of the 3rd day of July, A.D. 2002.

BETWEEN:

THREE SISTERS RESORTS INC.,  
a body corporate incorporated  
pursuant to the laws of the Province  
of Alberta  
(hereinafter called the "Grantor")

OF THE FIRST PART

- and -

THREE SISTERS RESORTS INC.,  
a body corporate incorporated  
pursuant to the laws of the Province  
of Alberta  
(hereinafter called the "Grantee")

OF THE SECOND PART

WHEREAS:

A. The Grantor is the registered owner of those lands and premises described in Schedule A hereto (the "Servient Lands") and the Grantee is the registered owner of those lands and premises described in Schedule B hereto (the "Dominant Lands");

B. The Grantor as owner of the Servient Lands has agreed to restrict its rights of use and development of the Servient Lands for the purpose of maintaining, preserving and enhancing the overall appearance, quality and value of the Dominant Lands, by maintaining certain standards for the Servient Lands, including standards relating to fencing, grading, landscaping, construction and development on the Servient Lands;

C. It is beneficial for the ownership of the Dominant Lands, as hereinbefore set forth, that the use and development of the Servient Lands be restricted as herein set out;

D. The Grantor as owner of the Servient Lands desires for the above purposes to grant a restrictive covenant to the Grantee as owner of the Dominant Lands;

NOW THEREFORE THIS AGREEMENT WITNESSETH that in pursuance of the premises herein set forth and in consideration of the sum of Ten (\$ 10.00) Dollars paid by the Grantor as owner of the Dominant Lands to the Grantee as owner of the Servient Lands, the Grantor covenants and agrees with the Grantee as follows:

1. Subject to paragraph 2 hereof, there shall not be any use of or any form of development or construction on, under or over the Servient Lands or any part thereof which may be contrary to the provisions of Schedule C attached hereto.

2. Notwithstanding paragraph 1, the owner of the Servient Lands may make a use of or may develop or construct upon the Servient Lands in variation of the provisions of Schedule C attached hereto, but only if such use, development or construction is first approved in writing by the registered owner of the Dominant Lands which approval may be unreasonably or arbitrarily withheld.

3. The registered owner of the Dominant Lands shall provide within a reasonable time upon written request served upon it, to anyone having a bona fide interest in the Servient Lands, a letter indicating whether or not any variations have been authorized by the owner of the Dominant Lands.

4. The Grantor as owner of the Servient Lands covenants and agrees for itself and its successors and assigns in title to observe and be bound by the covenants herein contained and the said covenants shall be construed to be and shall be covenants running with the lands and shall be appurtenant to the Servient Lands and each and every part thereof, and shall be for the benefit of the Dominant Lands and each and every part thereof.

5. The Grantee with respect to any breach of any of the obligations hereby imposed on the owner or owners of the Servient Lands may enforce the provisions of this restrictive covenant and may, in addition to any other remedy that may be available at law, apply to a court of competent jurisdiction to restrain such breach by injunction.

6. If any provision of this restrictive covenant shall be determined by a court of competent jurisdiction to be invalid or unenforceable to any extent, the remainder of this restrictive covenant shall not be affected thereby and each provision shall be enforced to the fullest extent permitted by law.

7. Words herein importing a number or gender shall be construed in grammatical conformance with the context of the party or parties affected by this restrictive covenant from time to time.

8. This restrictive covenant may be registered in the Land Titles Office for the South Alberta Land Registration District as a restrictive covenant (or by caveat in respect thereof) against the title to the Servient Lands burdening the same and against the title to the Dominant Lands for the benefit of the same.

9. It is declared and agreed that the above mentioned restrictions shall continue in force in perpetuity and shall operate as covenants running with the lands for the benefit of the Dominant Lands and each and every part thereof, being the lands owned by the Grantee and shall encumber the Servient Lands and each and every part thereof, being the lands owned by the Grantor and shall be enforceable by the Grantee and every other person now or hereafter seized or possessed of any part of the Dominant Lands, and a breach of any of the said restrictions or the continuance of any such breach shall be restrained, enjoined, abated, or remedied by appropriate proceedings by the Grantee or any of the successors in title to the Dominant Lands of the Grantee from time to time.

IN WITNESS WHEREOF the parties hereto have caused these presents to be executed by the hands of their duly authorized officers in the behalf as of the day and year first above written.

THREE SISTERS RESORTS INC.

Per: Ken J. Jingle Seal

Per: W. Douglas

THREE SISTERS RESORTS INC.

Per: Ken J. Jingle Seal

Per: W. Douglas

**SCHEDULE A ✓**  
(the "Servient Lands")

PLAN 011 1272

BLOCK 1

LOT 1

EXCEPTING THEREOUT ALL MINES AND MINERALS

AREA: 3.45 HECTARES (8.53 ACRES) MORE OR LESS

**SCHEDULE B ✓**  
(the "Dominant Lands")

FIRSTLY:

PLAN 011 1272

BLOCK 2

LOT 1

EXCEPTING THEREOUT ALL MINES AND MINERALS

AREA: 5.84 HECTARES (14.43 ACRES) MORE OR LESS

SECONDLY:

PLAN 011 1272

BLOCK 2

LOT 4

EXCEPTING THEREOUT ALL MINES AND MINERALS

AREA: 1.52 HECTARES (3.76 ACRES) MORE OR LESS

THIRDLY:

PLAN 011 1272

BLOCK 2

LOT 5

EXCEPTING THEREOUT ALL MINES AND MINERALS

AREA: 1.7 HECTARES (4.2 ACRES) MORE OR LESS

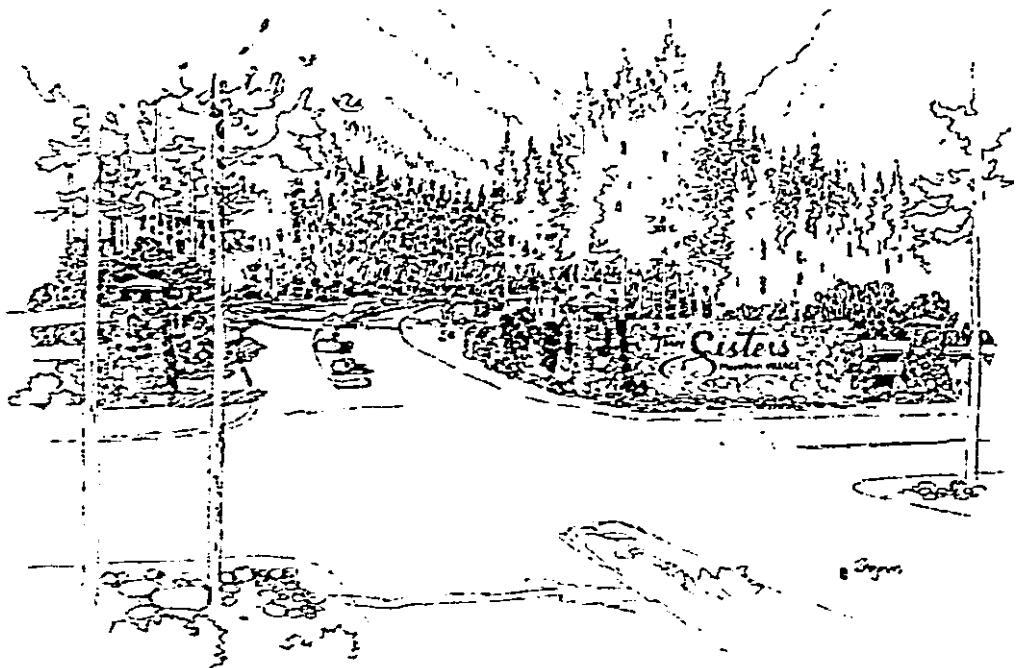
SCHEDULE C ✓



DESIGN GUIDELINES  
FOR THREE SISTERS CREEK

Residential and Commercial Structures  
Sites 2A and 4

February 20, 2002



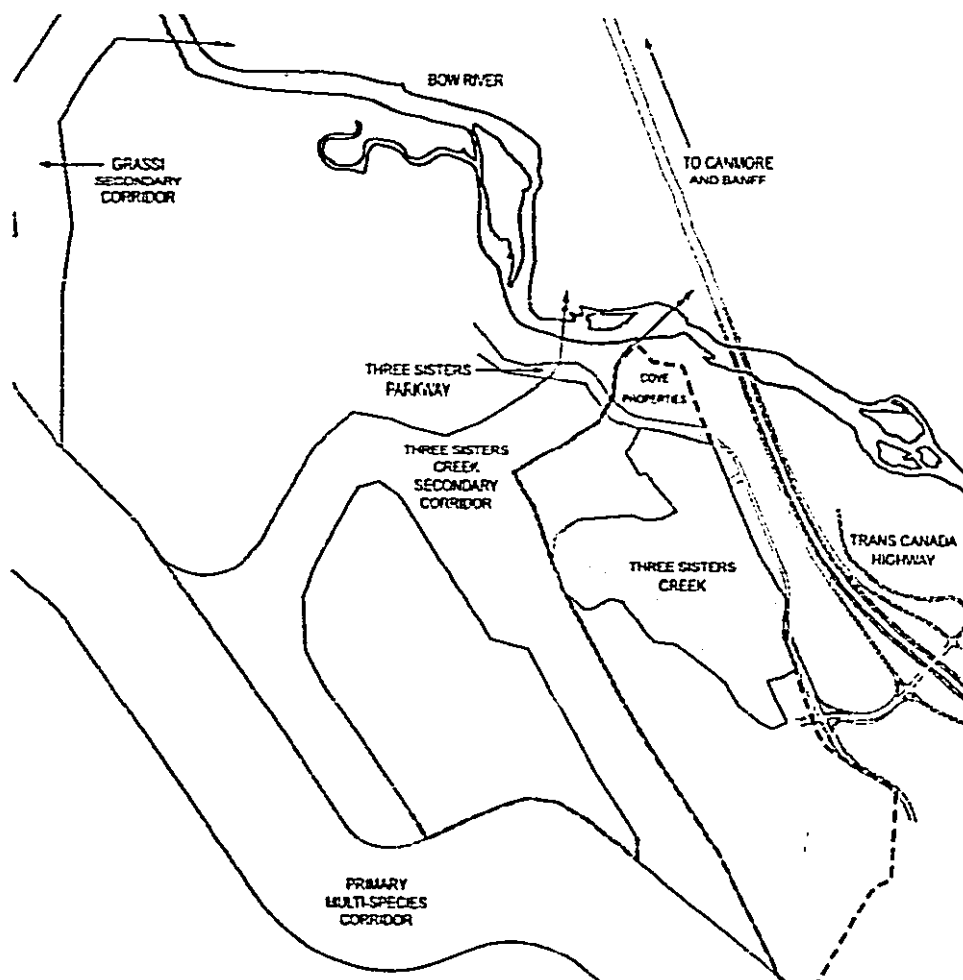
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THREE SISTERS MOUNTAIN VILLAGE - CONTEXT PLAN



## i



THREE CREEK  
SISTERS



## I. INTRODUCTION TO THREE SISTERS CREEK...

Three Sisters Creek is located in the Town of Canmore just a scenic 1 hour drive west of the City of Calgary. Nestled in the western slopes of the Bow Valley Corridor of the Rocky Mountains, Three Sisters Mountain Village includes the championship golf course Stewart Creek, hiking trails, mountain vistas, mature forests and close proximity to no less than five world-class skiing resorts. One of the primary goals in the planning and development of Three Sisters Creek is to preserve and enhance the landforms, vegetation and wildlife corridors that characterize this environment. Three Sisters Creek is being managed by United Communities™.

While all buildings are to reflect the architectural style defined in these guidelines, each building should also represent unique and creative design solutions. These will be new designs created for use in this subdivision. Applications are reviewed in accordance with the most recent set of guidelines and applicants should not base designs on existing homes as they may have been subject to earlier guidelines.

Another goal is to create and promote an architectural theme consistent with landforms and surrounding vegetation. This is to be achieved by encouraging a characteristic style of landscaping and building design that not only conveys an image, but also ensures compatibility between buildings and their setting.

This document forms the basis by which residents and their homes will interact with the surrounding environment and wildlife. This document should be kept in the new building so that it may be referred to in the future when additions to the existing structure are proposed.



### THREE SISTERS DESIGN VISION

The overriding design philosophy for Three Sisters Creek is to create a truly unique residential community within the grandeur of this Canadian Rocky Mountain setting. The design vision for Three Sisters Creek is dictated by respect for the natural environment. Stated in the broadest sense, the design of the buildings and improvements should be in harmony with their setting and complement, rather than overpower the natural landscape. For example, the architectural style must be responsive to the physical characteristics of the site and environmental considerations. Further, building materials and colors should reflect the natural landforms and vegetation of the site. Design solutions for all improvements should take their cues from the land. Environmental considerations, wildlife and geology should be considered prior to initiating designs in Three Sisters Creek.

The Three Sisters Creek Design Guidelines include architectural and landscape guideline sections that will assist in shaping the distinct building forms that are permitted. These types range from apartment style units to large single-family dwellings as well as commercial structures. Other sections of this document will provide specific parameters for design and development of those building forms.

## DESIGN GUIDELINE OVERVIEW

These design guidelines for Three Sisters Creek have been uniquely created for this very special setting in the Three Sisters Mountain Village. The attraction of this special setting for new Home Owners and Builders also has special constraints. Some elements of these guidelines such as wildlife protection and wildfire management plus selective landscaping material are guideline recommendations specifically created for this unique setting. Many residents and Builders may already be familiar with these guidelines.

The two primary components of the design guidelines relate to your residential home design and landscape design. These guidelines place particular emphasis on the preservation and rehabilitation of the natural landscape.

Some of the key topic items discussed in these design guidelines include the following:

- The Subdivision Plan and Your Residential Lot
- The subdivision plan has been designed to fit to the landscape. The developer has attempted to preserve as much of the existing tree stands as possible. Home Owners are encouraged to visit their lots and study the unique characteristics of their potential residential lot. These include assessing natural tree cover, vegetation, unusual slopes, landforms, views and sunlight. In addition, sub-division plans should be reviewed to understand any particular restrictions or easements that may pertain to their neighbourhood.

## ENVIRONMENTAL RESERVES

Much of the Three Sisters Creek subdivision is surrounded by environmental reserves. This means many residential lots will be adjacent to environmental reserves. These design guidelines speak to specific restrictions and protection of these areas to not only preserve and protect the existing landscape but also use of these areas for pathways and wildlife movement.



## LANDSCAPING

Home Owners and Builders are encouraged to work with the existing landscape of their residential lot to preserve and protect and enhance the existing natural characteristics. Building envelopes where houses may be sited will be determined with the Home Owner for each of the residential lots.

Landscaping discussed in these design guidelines highlights landscape areas not to be disturbed as well as minimal disturbance areas and new landscape areas surrounding the homes. Specific recommendations concerning plant and tree materials are included in these design guidelines.

## **WILDFIRE MANAGEMENT**

Three Sisters Creek Sub-division exists within a forested setting. Three Sisters Mountain Village in conjunction with forestry management consultants and the Town of Canmore have prepared a comprehensive set of recommendations that have been incorporated into these guidelines concerning selective tree clearing and replanting. Design guideline recommendations in this regard are intended to reduce the amount of combustible material, or "fuel" surrounding the new homes.

## **WILDLIFE CORRIDORS**

Wildlife corridors exist throughout the Three Sisters Mountain Village lands. Typically these are set apart from the residential sub-divisions. Home Owners are encouraged to understand specific design guideline constraints relating to new landscaping materials that may include edible berries as well as garbage management to reduce the possibility of encouraging animals to migrate into the residential district.



## **TOWN OF CANMORE / PROVINCE OF ALBERTA**

These guidelines have been written by Three Sisters Mountain Village in response to specific guidelines and requirements established by both the Province of Alberta and the Town of Canmore. Throughout this document there will be reference to the Town of Canmore's own by-laws that may relate to this project site. Remember all buildings built within Three Sisters Mountain Village must also comply with the Development Regulations and bylaws established by the Town of Canmore. This includes submission for building permits and occupancy permits.

## **REVISIONS**

The Three Sisters Mountain Village Design Guidelines are a dynamic document that will evolve over time as the community develops. The design review process and acceptance will be guided by United Communities™ who are responsible for the interpreting and implementation of these guidelines. Interpretation of appropriate design solutions by United Communities™ may vary depending upon site-specific conditions. In addition, these guidelines may undergo revision from time to time. It is the responsibility of the Owners and their designer to obtain the most current copy of the Three Sisters Creek Design Guidelines and any supplemental guidelines governing any and all development on their sites. United Communities™ reserves the right to refuse any plans or designs that it considers unacceptable or of poor quality.

## **TOWN OF CANMORE LAND USE BY-LAW**

The standards for development will be those established in the Town of Canmore Land Use By-Law and these design guidelines. Specific reference should be made to the Town of Canmore Land Use By-Law requirements in all cases. Conformity with these design guidelines does not supersede the required approval process of the Town of Canmore, which includes the appropriate permits to construct the house and inspections of the property by the appropriate Town of Canmore building inspectors, etc.

## GETTING STARTED...

### THE 4 - STAGE HOUSE PLAN APPROVAL AND CONSTRUCTION COMPLETION PROCESS

Plans will be reviewed in terms of their adherence to the design guidelines as detailed in this document. **United Communities™** and their Architectural Coordinator may require certain modifications to house plans, elevations and/or specifications where it is felt an adjustment is required to take advantage of unique lot characteristics or to confirm to the overall objectives of the guidelines and the development. The design guidelines attempt to provide an overall design concept to assist in developing and conveying an alpine setting. This architectural theme will be conveyed through the extensive use of cedar, log and stone exterior finishes mixed with stucco.

Applicants may provide alternative details to those outlined in these guidelines, they must however demonstrate that conformity to the overall objectives for the quality of the area is being maintained. The acceptability of such alternatives is solely at the Architectural Coordinator's discretion. Extremely good examples of other architectural styles may be considered at the sole discretion of the Architectural Coordinator.

### STEP 1 - PRE DESIGN ACTIVITIES

The following activities should be carried out by the Purchaser prior to initiating any design work for their new residence:

- Purchaser to select (purchase) residential lot.
- Site walk through with Three Sisters sales representative to note specific features of site or elements to be protected, retained or otherwise addressed
- The building envelope is roughly staked at this time to help the Purchaser understand the building area available for their new residence.
- Purchaser selects Builder / Designer
- Purchaser is to meet with the **United Communities™**. At this first meeting the Architectural Coordinator will discuss any matters relating to grading plans, easements and the content of the design guideline. At that same meeting the Architectural Coordinator will assist the client in understanding the following steps of the process and the expectations of drawings to be submitted during the design review and approval process.
- Initial lot inspection - the Builder and purchaser are to inspect water service valve and concrete sidewalk and /or gutters for any damage and forward a report on the forms provided to **United Communities™**. This inspection must be conducted as outlined in the lot purchase agreement.



### STEP 2 - DESIGN REVIEW AND APPROVAL

The purchaser is free to contact **United Communities™** Architectural Coordinator at any time during the design review process. The review process allows for two meetings. Additional meetings with the Architectural Coordinator will be charged to the Owner using hourly rates. The purchaser is asked to review in detail the application forms in the design guidelines to understand the review and submission process.



#### Activities during this stage include:

- Purchaser's preparation of house concept plans and site plans (the purchaser may be working with a Builder who has previously prepared drawings and site plans – in this case these drawings in concept form may be reviewed during the pre-design meeting Step 1 stage).
- Meeting with United Communities Architectural Coordinator to discuss the merits and design concepts and exterior design elements of the proposed building and landscape design.
- Architectural Coordinator to provide concept plan approval to purchaser /Builder on form provided in the design guidelines.
- Preparation of final house plans for submission and approval to United Communities including all required landscape plans – by Owner/Builder/Developer.
- Damage deposit submitted at this time.
- Approvals released by United Communities Architectural Coordinator.
- Purchaser / Builder shall submit drawings to the Town of Canmore for building permit approval.

#### STEP 3 – HOUSE AND SITE CONSTRUCTION

During this stage the Owner and Builder proceed with the construction and completion of the house and the landscape work. Provision is made at construction completion to allow for minor deficiencies or incomplete work that may be delayed due to deliveries or seasonal conditions.

During the construction stage your site will be visited by a representative of United Communities.

This representative will confirm that the work is generally not affecting other building sites and may also deal with items such as erosion control, waste management, and environmental protection concerns. If there are matters of concern the representative will identify these in writing to the Builder.

The Architectural Coordinator will also review construction to ensure that the building is consistent with the approved designs. The Architectural Coordinator is available to assist the Builders in minor changes during construction. This will permit the Owner and Builder to implement minor changes in the field without slowing down the building process. A small administrative fee may apply.

At the conclusion of this stage the Owner/Builder should expect the following:

- The house construction will be complete.
- The Architectural Coordinator will issue a final inspection report plus a list of minor deficiencies.
- The Owner is available to occupy the home (assumes an occupancy permit by the Town of Canmore is issued).
- Landscape work is substantially complete but not necessarily totally complete.



#### STEP 4 – MINOR HOUSE AND LANDSCAPE COMPLETION ITEMS

Step 4 is essentially a provision to allow for seasonal deficiencies and minor project cleanup. These matters may include work related landscaping improvements, both hard and soft, as well as minor completion of outstanding building construction items listed in the final inspection report as deficiencies.

Once all work is complete the Architectural Coordinator will visit the site one more time for a final inspection and release the damage deposit and landscape deposit funds.

Details of forms used to document approvals and releases are contained in Section VII.

## II. SITE PLANNING

### INTRODUCTION

Due to topography, general terrain and vegetation, site planning is very important to the overall design of each building. Designs should take maximum advantage of the site while minimizing the disturbance. All designs must be a perfect blend between the natural surrounding and the proposed building form itself. The overall form, massing and location of the building should be designed in response to the natural landforms and topography of the site. This requires early and ongoing communication between the Builder and the Architectural Coordinator.

Depending on the gradient of the site designs may require floor level changes within the floor plan to accommodate the sites' grade change. This is preferred over one large building that would require grade retention. Rooflines and building form should take their cues from the surrounding environment. When siting the garage and driveway, slopes, mature vegetation and view angles from the street must all be considered.

During construction all natural areas must be temporarily fenced to prevent vehicles entering, material stock piling or construction activity access that could impact surface vegetation and the soil profile. Every attempt must be made to preserve mature vegetation at the front of the lot, which will provide privacy screen from public view of the site once construction is complete.

### CONSTRUCTION ENVELOPES

The Construction Envelope is the only portion of each Lot, in which all improvements and construction activities of any kind can occur. Your Construction Envelope will be identified for your lot based on the natural features of the Lot, its' views, topography, and setback requirements as specifically defined by this document and relationship to adjacent building envelopes. The Construction Envelopes have NOT been cleared of all trees and undergrowth. Builders must design and site the house in a manner to protect the greatest amount of existing vegetation in approved vegetation retention areas.



Geotechnical Setbacks are sometimes required to ensure foundation stability adjacent to steep slopes. If your site is affected by a geotechnical setback, it will be shown on the marketing and engineering plans.

### TREE THINNING AND REMOVAL

Tree removal is to be minimized in all situations. Clearing the construction envelope is permitted however it may be advantageous to transplant some trees from the building envelope to retention areas to provide privacy. At the front of the lot only the width required for the driveway may be cleared. All other trees must be staked, fenced at their drip line and preserved. The responsibility of tree thinning for wildfire protection and fuel modification is as follows; Streetscape, and the remainder of the building lot (including the fire risk protection zone) shall be done by the homeowner. The adjacent ER/MR is the responsibility of the developer. Blow down protection will be the responsibility of the Builder. A tree removal and thinning plan will be required for all developments. Unauthorized removal is subject to fines up to \$5000 per tree as determined by United Communities™.

## SETBACKS

All construction envelopes are contained within the required property setback lines in accordance to the Town of Canmore bylaws. In addition, United Communities™ is requiring additional setbacks to ensure the preservation of vegetation for visual character and for setbacks for lots adjacent to wildlife corridors. Lots adjacent to wildlife corridors will have a setback of 12.5m from building/deck footprint, inclusive of the 5m no-disturbance buffer zone of natural vegetation. The buffer zone will be thinned as required by the developer for wildfire protection. Blow down protection will be by the Builder. A restrictive covenant will be placed on lots backing onto wildlife corridors.

## HOUSE SITING

Most building sites in Three Sisters Creek have some degree of slope. The location of buildings and site improvements is a vital component of the design process. The underlying goal of the site planning guidelines is for all buildings, structures and site improvements to be integrated with the natural features of a site. Building forms, orientations and massing should respond to the natural landform, drainage patterns, topography, vegetation, views and sun exposure. Steps within the building structure are encouraged rather than extensive site grading. Side yards between properties will also require careful consideration to eliminate grading and side drainage problems between buildings. Building forms and rooflines should relate to the site contours and surrounding landforms. Exposed building profiles atop ridgelines and harsh angular forms that are in contrast to natural slopes should be avoided.

The location and design of buildings should minimize disturbance to existing vegetation in retention areas on a site. Building footprints that run perpendicular to general slope of the site should be avoided. Access should also be considered during the site planning and building design process. Effective site planning can minimize the need for extensive cut and fill of slopes to accommodate site access.

## COAL OUTCROPS

Coal outcrops are found in the region. Should coal be discovered, the existing ground may be unacceptable for foundation bearing. It is the responsibility of the Builder to ensure that the bearing capacity of the ground is adequate. Builders are to obtain a soil-bearing certificate for all homes in Three Sisters Creek.

## DRAINAGE AND GRADING

Adjustments to existing contours and slopes should be avoided where possible. Designs should not cause or lead to soil erosion. Builders are responsible to ensure erosion control measures are in place until landscaping is established. The drainage patterns must conform with the approved development Grading Plan. When cuts and fills cannot be avoided they shall be feathered into existing slopes and landscaped to blend into the natural surroundings. Finish grades shall be consistent with existing contours or use landscaped terraces to achieve grade changes. Final grading of the lot shall adhere to the latest approved Development Grading Plan for the subdivision. Grades exceeding 2:1 must be retained. Retaining walls should not exceed 1.0m in height otherwise they must be reviewed and approved by a professional engineer.



Runoff from slopes and surfaces shall be directed away from all building foundations. Drainage shall be directed to natural or designed drainage swales. Storm drains shall not connect into the sanitary sewer system. Side yard grades with the existing or proposed building on all adjacent properties are to be carefully coordinated. Any improvements made within a right-of-way or an easement, are at risk and subject to repair, replacement or removal at the Owner's expense. Footings are to be stepped to best accommodate existing terrain. Depending on the development grading plan, some retaining walls may be provided by the developer. Others when required are the responsibility of the builder.

## **DRIVEWAYS**

In order to minimize site disturbance and grading, the driveway access location and grade may dictate the finish floor elevation of the home. Driveways shall follow the sites contour as much as possible. Driveway slopes should not exceed 10%. Driveway width at the point adjoining the street shall not exceed 4.0m in width for independent drive entries. Shared drives will be permitted employing 2.0 – 3.0 metre wide driveways each with a 1 meter wide landscape median from back of sidewalk with a minimum length of 4.0 meters.

## **RECREATIONAL EQUIPMENT**

A minimum of two parking spaces shall be provided on site. Stalls must be enclosed and located within the unit. All garages must be attached to the main units. All recreational vehicles must be stored within the garages. Otherwise these recreational vehicles, trailers, campers, etc. must be stored off site. Such vehicles may not be left on the driveway or site for longer than 24Hrs.

## **OUTDOOR SPACES AND SATELLITE DISHES**

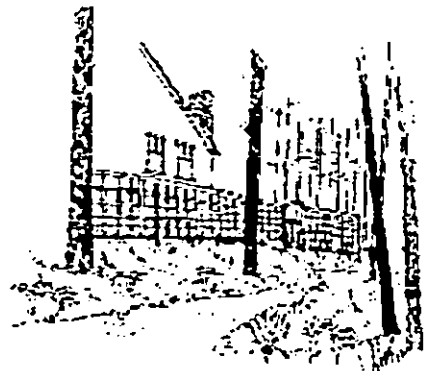
All gas and electrical meters, air conditioners units etc. should be screened from adjacent lots and view from all public spaces. When visible from public areas or roadways, built-in barbeques and grills or similar outdoor devises are permitted however their designs and materials are to match the house in color, style and material. All satellite dishes must be a maximum 24" in diameter or smaller. Satellite dishes must be screened from view from public areas and present no significant visual impact on adjacent lots or public roadways. Flags or flagpoles of any kind are not desirable. Art or statues must be contained within the building envelope and must be approved in writing by United Communities™ prior to installation.

## **FENCING**

No fencing is permitted in Three Sisters Creek. This will preserve and reinforce the more natural and visual character of this setting. Rules and regulations concerning fencing in the Canmore Land Use By-Law may also apply.

## **SCREENING**

If private areas are desired then screening may be constructed around areas such as decks and barbecues. These screens must be made from materials indigenous to the area and must blend into the landscape. On main floor decks and patios the screen must not be longer than 15ft. in one direction and may completely enclose the area and must have a latched gate. All dog runs, if approved, must include a roof to protect dogs and must be discreet and screened.



Screens on grades used for partial privacy or as a landscape screen must be constructed from wood. It will be an open lattice or grid in conformance with the Three Sisters landscape controls. This will allow the Town of Canmore to better monitor dumping and/or storing of materials such as firewood, construction material on ER/MR lands where there are no fences or property lines.

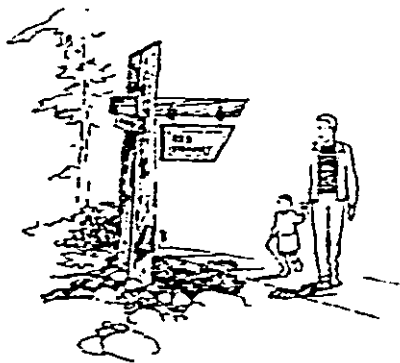
#### PROPERTY SURVEY PINS

Property corner pin markers are to remain in place and undisturbed by home Owner/Builder or others. This will allow the Town of Canmore to better monitor dumping and/or storing of materials such as firewood, construction material on Home Owners property or on ER/MR lands where there are no fences or property lines.

#### ADDRESS SIGNS

All residences are required to have a street address sign that is visible from the road. These will be designed by Three Sisters as part of a comprehensive landscape plan for the entire residential development. Please contact United Communities™ for more details. All signage, including construction signs must be approved prior to installation. House mounted residential address signs may be illuminated with low wattage fixtures and shall be a maximum size of one square foot.

Multi-family projects are permitted one project identification sign at each entrance and will be designed by Three Sisters as part of the comprehensive landscape plan for Three Sisters Mountain Village.



### III. DESIGN GUIDELINES – STRUCTURES

The following section will control all structures within the Three Sisters Creek. These general architectural design guidelines will provide a common, overall theme for all structures constructed within the Village. The overall design concept will project a natural and 'mountainous' or 'alpine' ambience through the extensive use of wood, log and timber exterior detailing as well as large quantities of rock and stone accents, combined with an extra emphasis to detailing to reinforce this image. Four sided architectural detailing will be required throughout the development.



The guidelines encourage diversity of building forms and material applications to create a rich and varied texture of massing in this mountain setting. However, a selected range of building colour options and manufactured product colours is provided to promote overall visual harmony with the surrounding landscape and environment and between residences. Minor use of accent colours is encouraged.

Practically this means that the first home to be constructed on a given street will have all color options available. There will be a more limited range of color options available to the last few houses to be added to the same street, based on the colors used in other houses on that street.

United Communities™ reserves the right to approve wood siding profiles and colours on an individual lot basis. Colours cannot be reserved prior to a complete architectural submission. Once submitted each lot is processed on a first come, first served basis. Applicants may provide alternative details to those outlined in these guidelines, they must however demonstrate that conformity to the overall objectives for the quality of the area is being maintained. Proper coloured building elevations using the prescribed colour palette as part of the application process is required. The acceptability of such alternatives is solely at the discretion of United Communities™.

#### MASSING

Four-sided architectural detailing is desired and therefore, building masses are to be composed of clusters of building forms fitted to the topography and natural surroundings. Bungalows and 1 ½ storey building forms are encouraged over 2-storeys. 2-storey designs must try to lessen their impact on the streetscape by incorporating design element like porches, horizontal and vertical changes in materials and dormers to break up the massing. Buildings must have horizontal elements as well as vertical elements. This "grounds" the building at the same time reflecting the vertical height of the trees and surrounding mountains in its' massing. No more than 70% of the façade should be in the same plane.



All buildings are required to meet Town of Canmore height requirements as outlined on the Building Grade Plan and in the Town's Land Use By-law.

#### FOUR SIDED ARCHITECTURAL DETAILING

All four sides of all buildings in Three Sisters Creek must have architectural detailing. This may be as simple as window trim, gable detailing or massing. However when more than one elevation is visible from public areas or roadways, dormers and exterior detailing previously used on the front façade may be considered. The design principle is to ensure that all four sides of the structure are equally presentable depending on their exposure. Additional stone and exterior detailing will be required for all structures that are visible from public areas or roadways.



#### STONE

The base of ALL buildings is to include stone or rock and must cover to an amount of 25% of the front elevation not including returns. Returns must be 48" as a minimum. The siting and exposure of the building will often dictate where the stone will have the greatest visual impact. Stone must be used as a base material and should have a minimum height of 3-4 feet. (This should be reviewed with Architectural Coordinator during the early stages of design). Stone should have relief elements. For example, stone might step up to ascent entries or focal points. Natural or manufactured stone will be acceptable however, manufactured stone profiles and colors must be consistent with natural occurring stone in the surrounding environment and provide random patterns. Manufactured stone palettes can be mixed to achieve a more natural, indigenous appearance. Submit manufactured stone colors for approval. Other masonry product may be considered and approved on a house-by-house basis.



#### WALL MATERIALS AND COLORS

Permitted wall cladding is 4" reveal cedar horizontal siding, cedar board and batten detailing, cedar wall shakes, Hardie-Plank Cement Fiber Siding, Hardie Shake, stucco and log construction. Fire retardant wood materials are recommended. Stone must be used on all structures.

When stucco is used, it must be used in combination with additional stone to a total amount no greater than 45% of the front elevation. Natural wood accents should also be used in this situation. Natural cedar when used with stucco must be stained with solid or semi-transparent stain. When cedar siding is used with solid stain, natural cedar trim, fascia and windows should be used as an accent.



## VINYL SIDING WILL NOT BE PERMITTED.

### ROOFS AND COLORS

All roof flashing is to match the roof in color. Uncoated galvanized flashing will not be permitted.

Dormers and gables should be used to give texture to roof forms and to avoid large unbroken roof planes. Skylights must not be visible from public areas or roadways. Acceptable roof finishing materials include architectural asphalt and fiberglass shingle, flat profile concrete tile, slate tile and standing seam metal in accordance with the range of pre-approved colours. Wood shake will not be permitted. Minimum roof slope will be 8:12 for main roofs and 10:12 for all gables. United Communities will use their discretion in all such cases and reserves the right to consider a pitch less than 8:12. Appropriate precautions must be taken to protect damage or injury in the event of snow shed.

Roof colors will be limited to dark and earthtone colors. Metal roof colours will be reviewed on a house-by-house basis. The permitted Architectural shingles colors by IKO are listed below. Similar by competitor is permitted.

### ARCHITECTURAL ASPHALT

Taupe Slate

Weathered Slate

Harvest Slate

Black Slate

### EAVES, SOFFITS AND FASCIAS



Large protective overhangs are desirable and may be up to 48" with proper supports and log, timber or bracket detailing. Minimum roof overhangs will be 18". On overhangs larger than 18" the soffit must be wood. Other fascias are to be natural wood or manufactured wood-like board either stained with a solid or semi-transparent stain. Double or triple fascia should be used whenever possible. Use of wood is encouraged in soffits, which are in prominent view as determined by the Architectural Coordinator or in feature area, for example: entry porches or prominent eaves. Other soffits may be aluminum with colours restricted to those listed below. Soffit colours must be in keeping and blend with the selected color scheme.

Sandalwood

Dover Grey

Canyon Clay

Wicker

Cashmere

Nutmeg

Tan



## ACCENT COLOURS

The main design criteria is that the residences blend in with the natural surroundings and landforms. Accent colours are to be generally taken from colours found on the site. Accent colours may be limited to one or two elements of the building if it is decided by the Architectural Coordinator that they are overpowering the façade and detracting from the overall design and theme for Three Sisters Creek. Accents colours may also match aluminum colours.

Slate      Black      Forest Green      Tan Sable      Old World Blue      Ochre

If exterior stains are to be used they should be semi-transparent in colors that are subtle and only accent the natural wood tones. Solid tone stains will be considered in earth-tones that blend in with the surrounding environment.

Reflective materials or finishes are to be avoided and may require weathering techniques if the material does not substantially weather within the first season after installation.

All exterior colour schemes must be approved. Colours cannot be repeated within 2 lots on the same side of the street unless previously approved in writing. The Architectural Coordinator reserves the right to approve or reject any colour scheme. The Architectural Coordinator has the authority to make changes in a colour scheme, so that it blends with adjacent homes. As cladding styles and colours change on an ongoing basis, certain colours and/or styles may be unacceptable, therefore samples of all new colours/styles will be required with the application.



## REPETITION OF BUILDINGS

### MULTI-FAMILY, SEMI-DETACHED

Non-adjacent repetition of semi-detached house plans may be permitted at the discretion of the Architectural Coordinator. An architectural streetscape drawing may be requested to illustrate the overall visual compatibility of building adjacencies and repetitions.

### SINGLE FAMILY

The same detached house plan, with the same/similar elevations cannot be repeated within 4 lots on the same side of the street and within 2 lots on the opposite side of the street. This may be altered at the discretion of the Architectural Coordinator if it can be shown that the two houses in question are located so as not to be visible together from any given angle.

While similar building plans and elevations are inevitable, it is possible to vary the design by changing the roof lines, size and location of windows and doors, etc. If it is felt that the adjacent houses are similar, the Architectural Coordinator will suggest ways in which the building can be altered to make it suitable. Revised elevations will be required so that an accurate set of files can be kept for each lot. Multi-family and duplex units will be reviewed on a site-by-site basis.

### DECKS, COLUMNS, BALCONIES AND RAILINGS

Decks, balconies and railings are to be consistent in material and design to the main building. All decks higher than 36" must have architecturally detailed supports and undersides.

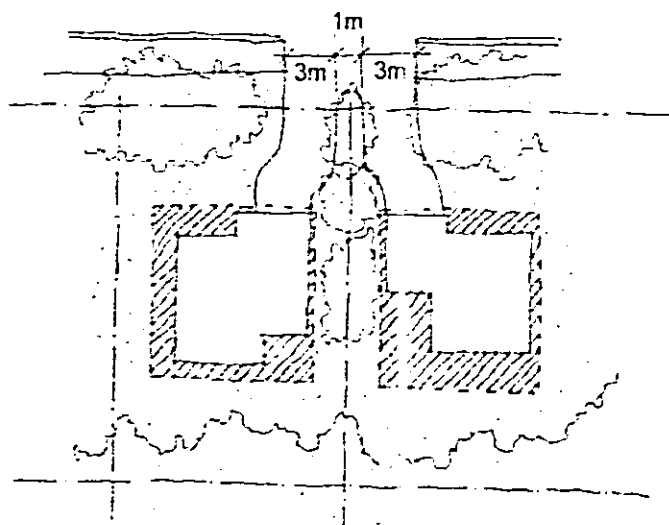
Supporting structures must provide sufficient massing to ensure their scale is correct including a wider base to give the appearance of structural support. Supporting structures can include logs, timbers and brackets with or without stone or rock bases.



No fencing is permitted in Three Sisters Creek. This will preserve and reinforce a more natural and visual character of this setting. Rules and regulations concerning fencing in the Canmore Land Use By-Law may also apply. Railings offer a unique opportunity to add a personal touch to the exterior of a building. Although personal designs are encouraged they must be approved prior to being constructed. Railings can be log, timber, wrought iron or glass. However, glass can only be used as a backer to the log, timber or wrought iron railing. No glass is permitted on street side elevations. Consistent quality of detailing is expected on more visible or exposed elevations of a home e.g. front and rear elevation or more exposed side elevations.

## DRIVEWAYS AND FINISHES

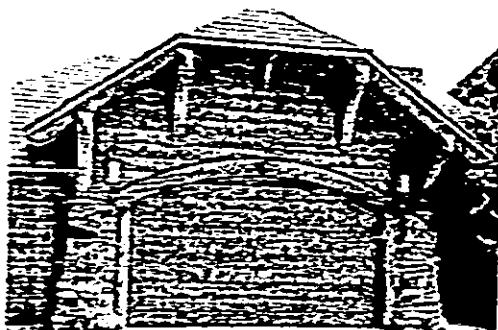
Shared driveways are preferred however, all driveways, where space permits, are to be tapered to a width of 4.0m to minimize the amount of tree removal required at the street. Shared drives will have 2 driveways of 3 metre width with a 1 meter wide central landscape median. The median will be minimum 4 metres in length starting at back of sidewalk. Alignments shall minimize grading, tree removal, or other disruption of the site. A drive receding into the landscape that provides a glimpse of the house through the trees is desirable. Driveway access points are limited to one per lot. Appropriate surfaces for driveways include asphalt, cobblestones, brick pavers, precast concrete unit pavers and exposed aggregate concrete. The R-2 district will use exposed aggregate concrete throughout.



## GARAGES AND GARAGE DOORS

Attached garages are required on all lots in Three Sisters Creek. Side-drive garages are preferred over straight on access where space permits. Garages should be recessed into the structure whenever possible. On back to front sloping lots, decks or similar structures over the garage are encouraged. If the garage cannot be recessed then decks and trellises should be used to minimize the overall scale of the garage. In all cases, the design of the garage shall be compatible with the architecture and materials of the main building.

Garage doors must be constructed from wood with a carriage house look. Doors will be either be stained with a semi-transparent stain or a solid stain to match the colour palate of the body of the building.



## GABLE END

Gable end detailing must include one or more of the following: standard cut shingles, log trusses, sculpted trusses, false trusses with or without brackets, brackets, stucco with log or timber detailing, cedar fans or exposed rafters. Each house plan will be evaluated on its own merits and its' ability to convey the "mountainous" and "alpine" theme desired within Three Sisters Creek. Revisions to gable end detailing may be necessary if similar detailing has been already used within the review area.



## WINDOWS AND DOORS

Window or door opening should have a heavy wood accent or lintel treatment over the opening. Metal clad units shall match the buildings accent colour or should be a complementary colour to the selected palette. Large areas of glass are to be shaded by roof projections, balconies or porches, to minimize their visibility and their reflections as seen from distant sites. Muntins bars, in combination with "picture" windows, are required on front elevation windows or windows visible from public roadways. Reflective or tinted glazing is not permitted.



## ENTRY DOORS, ROOFS AND SUPPORTS

Entry doors are to be welcoming and emphasize the point of entry. Wood stained doors are desirable however, metal doors painted to match the building colour scheme will be permitted. Glass within the door or sidelights should be incorporated into each unit. Stone or cedar detailing should accent the entry. The entry should be with alcoves or covered by portico. Porches and shed roofs over the entry must have a metal roof.



## ENTRY STEPS AND DECKING

Flat stone, brick pavers, pre-cast and cast in place concrete steps are preferred entry step materials. Cedar planking will be permitted and should be used with a porch or similar entry details.

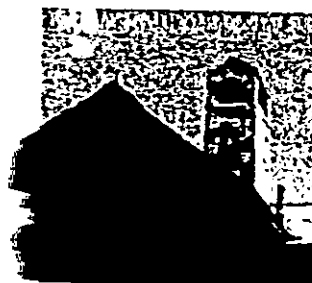
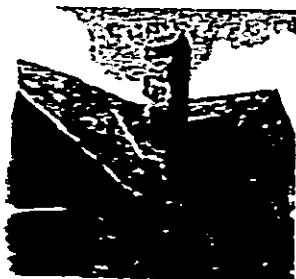
## CHIMNEYS

Chimneys play a major part in conveying the architectural theme of Three Sisters Creek. They should appear like "real" chimneys even though they may enclose metal flue or vent stacks. Detailing should be rustic looking with the base being wider than the top. Designed metal chase toppers are desired and strongly encouraged. All chimneys must be installed with approved spark arrester.

Fireplace flues as well as mechanical flues and vents should be consolidated and enclosed within chimneys where possible. All exposed metal flues or pipes on the roofs shall be enclosed, and clad in stone, or painted to match the roof colour.

## FIREPLACES

Natural gas fireplaces are encouraged over wood burning units. All wood burning fireplaces must be installed with approved spark arrester.



## IV. DISTRICT SPECIFIC DESIGN GUIDELINES

Due to the vast range to building forms located within Three Sisters Creek this section will contain a more detailed look at the requirements for each of the five zoning districts. This section must be used in conjunction with the general guidelines mentioned in the previous section. The five land-use districts located within Three Sisters Creek are R-1B "Wide Lot", R-1B "Standard Lot", R-2A, R-3 and Commercial.

### R-1B "WIDE LOT" DISTRICT

#### MASSING

Lots within this area provide sufficient width for side-drive garage hence all units in this area should try to accommodate a side drive garage. This will provide the opportunity for vegetation to hide the garages and at the same time provide direct views of the house through the opening in the vegetation made by the driveway crossing. The garage wall facing the street will require a window and accompanying box-out to add additional architectural detailing to the street façade. Three car garages will be permitted in this area however, either the single or double bay of the garage must be offset 2' to provide relief to the garage face. If a front loaded garage is used then 2 single doors are preferred over 1 double door.



#### MINIMUM SIZES

Minimum square footages for this area will be 1800 square feet excluding garages.

#### SETBACKS AND HEIGHTS

To preserve trees and allow flexibility in siting, the minimum total combined side yards in this area cannot be less than 1/3 of the lot width. For example, if the lot is 24.40m (80') wide 1/3 would be 8.0m (26'). Each side yard could be 4.0m (13'). The house should be centered on the lot, however to protect tree coverage the house may be sited to one side of the lot where the minimum setback of one side yard must be 2.0m (6 1/2').

Front yard setback is 7.0m. Rear yard minimum is 7.5m.

All building footprints adjacent to wildlife corridors will require a minimum setback of 12.50m from the corridor to building or deck face inclusive of the required 5.0m non-disturbance zone.

All maximum building heights will be as required by the Town of Canmore Land Use By-law.

#### VEGETATION PRESERVATION

##### (SEE ALSO SECTION VI - LANDSCAPE GUIDELINES)

All front yard trees not located within the 4.0m driveway zone must be protected. Removal of these trees without written consent from United Communities is strictly prohibited. Re-vegetation should occur within this area to best screen the garage from view of all public roadways.



## SECONDARY SUITES

20% of the units in this district will require secondary suites and will be predetermined. Please refer to the Marketing Plan for which lots require secondary suites. Some of the lots in this district may be permitted to have "garden suites", and will depend on lot-specific Land Use By-Law requirements. These suites will be separate buildings, which must comply with the architectural guidelines and all Town of Canmore By-laws. These "garden suites" are not required but are only permitted on the lots illustrated on the Marketing Plan at the back of this document.

## R-1B "STANDARD LOT" DISTRICT

### MASSING

Due to the narrow lot width in this District, the garage will be a dominant element of the front façade. Tree preservation is imperative. Three car garages will not be permitted in this district. To reduce the effect of the garage, the street side façade the garage should be recessed into the house massing. This may include a deck above the garage or a projecting trellis detail over the garage door.



### MINIMUM HOUSE SIZES

Minimum square footages for this area will be 1200 square feet excluding garages, unless a secondary suite has been previously designated.

### MAXIMUM HOUSE SIZES

Where entry-level housing is required, there is a maximum area of 1400 square feet, and a maximum area of 900 square feet for suites.

### SETBACKS AND HEIGHTS

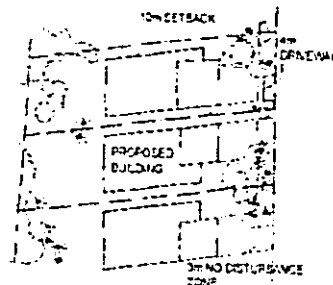
In an effort to maximize potential tree retention adjacent to the street, minimum front yard setbacks in this district will be 10.0m. However, Lots 9-14 in Block 3 may not have sufficient depth to accommodate the 10.0m setback hence they will be reviewed on a lot-by-lot basis.

To preserve trees and allow flexibility in siting the minimum total combined side yards in this area cannot be less than 1/4 of the lot width. For example, if the lot is 12.20m (40') wide 1/4 would be 3.0m (10'). Each side yard would be 1.5m (5'). The house should be centered on the lot, however to protect tree coverage, the house may be sited to one side of the lot where the minimum setback of one side yard must 1.5m.

Rear yard minimum is 7.5m.

All building footprints adjacent to wildlife corridors will require a minimum setback of 12.50m from the corridor inclusive of the required 5.0m non-disturbance zone.

All maximum building heights will be as required by the Town of Canmore Land Use By-law.



## VEGETATION PRESERVATION

These lots will contain a 3.0m no disturbance area at the front of the lot. This area will be thinned as required for wildfire protection by the developer. Blowdown protection will be by the Builder. All front yard trees not located within the 4.0m driveway zone must be protected. Removal of these trees without written consent from United Communities is strictly prohibited.



## SECONDARY SUITES – R-1B DISTRICT

80% of the units in this district will require secondary suites and will be predetermined. Please refer to the Marketing Plan for which lots require secondary suites and sizes. Suites are to meet all requirements outlined with the Town of Canmore Land-Use Bylaw.

## R-2A DISTRICT

### ARCHITECTURAL APPROVAL

All developments in this district must receive written approval from United Communities™ prior to construction. Developments will be approved on a site-by-site basis. Units will not be required to exactly replicate building forms from the surrounding housing development, however exterior detailing should follow these general guidelines in all respects.

### MASSING AND MATERIALS

Dormer and loft development should be used whenever possible. Entries should be accented with stone or portico detailing to relate street frontage to the pedestrian scale. Decks and balconies should be used to add architectural relief. Support structures for deck or balconies may be log, timber, stone or a mixture. Horizontal and vertical elements will be used to add interest to all facades. This is to provide a "base", "middle" and "top" to all structures. To mitigate the potential linearity of buildings, structures should provide relief by staggering building faces and recessing / projecting balconies.

All elevations are to be given equal consideration. Variations in surface treatment by color, texture and material should be used to provide interest and enhance character. Roof materials will be a heavy architectural asphalt shingle, slate, or concrete tile with a slate profile. Mechanical equipment located on the roof must be screened from all sides of the building. Noise from this equipment may also require screening. Roof ventilators should be carefully detailed in gable ends, ridge vents or copulas.

Exterior wall finishes will be painted, stained wood or "Hardi-Plank" cement fiber siding, wood railing, colour matched wood or metal fascia and stone. Natural or synthetic stone materials indigenous to the area will be utilized for the building base and further accents. Shingles, horizontal battens, and log or timber accents are encouraged to provide additional interest.

All colours will be of natural shades that blend with the surrounding natural environment. Bright shades and pastel tones are not acceptable.

Window trims will be either a matching colour or tone on tone with the predominant siding colour. Reflective glazing is not acceptable.



## SHARED ENTRY DRIVEWAYS

Shared entry driveways are encouraged. Shared drives will have 2 driveways of 3.0 metre width with a 1.0 metre wide central landscape median. The median will be minimum 4.0 meters in length starting at back of sidewalk.

## MINIMUM SIZES

Minimum unit sizes will be 1000 square feet.

## SETBACKS AND HEIGHTS

All Town of Canmore minimum setbacks will apply.

All maximum building heights will be as required by the Town of Canmore Land Use By-law.

All building footprints adjacent to wildlife corridors will require a minimum setback of 12.50m from the corridor from house or deck face inclusive of the required non-disturbance zone.

## VEGETATION PRESERVATION

Preservation of vegetation in approved tree protection zones must be the first consideration when design elements are deliberated wherever possible.

## R-3 DISTRICT

### ARCHITECTURAL APPROVAL

All developments in this district must receive written approval from United Communities prior to construction. Developments will be approved on a site-by-site basis. Units will not be required to exactly replicate building forms from the surrounding housing development, however exterior detailing should follow these general guidelines in all respects.

### MASSING AND MATERIALS

Dormer and loft development should be used whenever possible. Entries should be accented with stone or portico detailing to relate street frontage to the pedestrian scale. Decks and balconies should be used to add architectural relief. Support structures for deck or balconies may be log, timber, stone or a mixture. Horizontal and vertical elements will be used to add interest to all facades. This is to provide a "base", "middle" and "top" to all structures. To mitigate the potential linearity of buildings, structures should provide relief by staggering building faces and recessing and projecting balconies.



All elevations are to be given equal consideration. Variations in surface treatment by colour, texture and material should be used to provide interest and enhance character. Roof materials will be a heavy architectural asphalt shingle. Mechanical equipment located on the roof must be screened from all sides of the building. Noise from this equipment may also require screening. Roof ventilators should be carefully detailed in gable ends, ridge vents or copulas.

Exterior wall finishes will be painted, stained wood or "Hardi-Plank" cement fiber siding, wood railing, colour matched wood or metal fascia and stone. Natural or synthetic stone materials indigenous to the area will be utilized for the building base and further accents. Shingles, horizontal battens, and log or timber accents are encouraged to provide additional interest.

All colours will be of natural shades that blend with the surrounding natural environment. Bright shades and pastel tones are not acceptable.

Window trims will be either a matching colour or tone on tone with the predominant siding colour. Reflective glazing is not acceptable.

## **PARKING**

Significant landscape buffers shall be required to screen parking from view of public roadways. Parking will be provided as required by the Land-use Bylaw for the Town of Canmore. Measures to minimize surface parking is encouraged. Underground or covered parking is to be provided where possible.

## **SIGNAGE**

One sign will be located at the principle entrance to the property. Additional identification and directional signage within the property may be provided.

All entry signage details will be designed by Three Sisters Mountain Village. Any other on-site signage must meet Town of Canmore regulations and be approved in writing by the Architectural Coordinator prior to submission to the Town of Canmore.

## **LIGHTING**

### **Buildings**

Exterior building mounted lighting will be provided using low wattage carriage style lights at building entrances only. All balcony lighting will be provided by concealed or flush mounted down-lighting.

### **Site Lighting**

Lighting for parking areas and open landscape areas are to be direct downwards. Lamp standards will be part of the comprehensive landscape, lighting and furniture plan being prepared by the Developer.



## **LANDSCAPING**

A comprehensive landscape plan must be designed by a Registered Landscape Architect for all R-3 sites. A minimum of 40% of the site area must be landscaped as per the Town of Canmore Land-use Bylaw. The maximum area of "hard" landscaping to be not more than 1/2 of the landscaped area provided. Exposed aggregate, concrete or brick pavers, stone, crushed stone, and coloured, pattern-stamped concrete are examples of acceptable "hard" landscaping materials. Asphalt and plain finished concrete cannot be counted as landscaped area. All sidewalks will be constructed of either flagstone, exposed aggregate or stamped patterned concrete. Low-level lighting will be provided for pedestrian circulation.

Details such as retaining walls, plant species, grading and water features will be clearly outlined and provided as part of a development permit application. An "ecoscape" design will be encouraged and all plant species will be of indigenous nature and acceptable to the Town of Canmore.

## **MINIMUM UNIT SIZES**

Minimum unit sizes will be as required by the Town of Canmore Land Use By-laws. As required by the Town of Canmore a minimum of 30% of the total units must be 1000 sq. ft. or less.

## **DENSITY**

Density will be dictated by the specific land-use of the site under consideration.

## **SETBACKS AND HEIGHTS**

All Town of Canmore minimum setbacks will apply.

All maximum building heights will be as required by the Town of Canmore Land Use By-law.

All building footprints adjacent to wildlife corridors will require a minimum setback of 12.50m from the corridor from building or deck face inclusive of the required 5.0m non-disturbance zone.

## **VEGETATION PRESERVATION**

Preservation of vegetation in approved tree protection areas must be the first consideration when design elements are deliberated wherever possible.

## **DEVELOPMENT PERMITS AND APPROVALS**

All developments must meet and provide all development requirements and standards set out by the Town of Canmore and the Province of Alberta. Requirements may include, mechanical site plans, storm water management plans, surveyed plot plan, detailed grading and landscaping plans and a site specific WHIP Plan.

## **COMMERCIAL**

### **ARCHITECTURAL APPROVAL**

All developments in this district must receive written approval from United Communities™ prior to construction. Developments will be approved on a site-by-site basis. Units will not be required to exactly replicate building forms from the surrounding housing development, however exterior detailing should follow these general guidelines in all respects as they translate to commercial building forms.

### **MASSING AND MATERIALS**

All structures will be subject to approval by United Communities™. Stone, stucco mixed with either log, cedar or timbers will be required. Materials should mimic the surrounding housing style but do not require an exact duplication. Horizontal and vertical elements will be used to add interest to all facades. Stone must be used to an amount of 30% of all facades.

### **SETBACKS AND HEIGHTS**

All Town of Canmore minimum setbacks will apply.

All maximum building heights will be as required by the Town of Canmore Land Use By-law.

## SIGNAGE

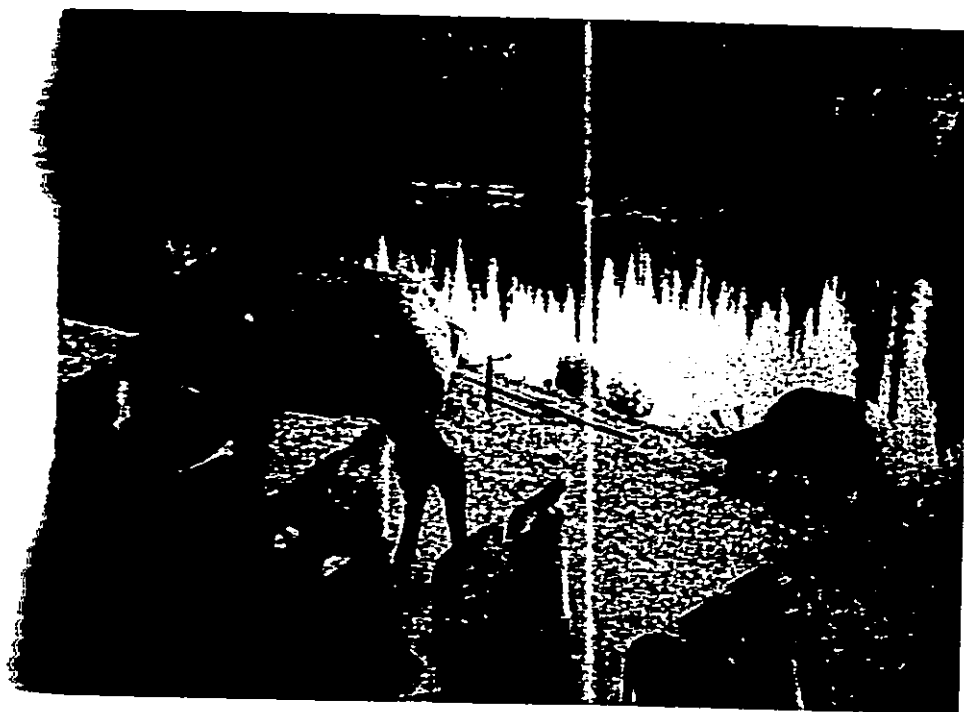
One sign will be located at the principle entrance to the property. All entry signage details will be designed by Three Sisters Mountain Village. Additional identification and directional signage within the property may be provided. All signage details are to be derived using a local historical motif and must be aesthetically pleasing. All sign must meet Town of Canmore regulations and be approved in writing by United Communities.

## VEGETATION PRESERVATION

Preservation of vegetation in approved tree retention areas must be the first consideration during design.

## DEVELOPMENT PERMITS AND APPROVALS

All developments must meet and provide all development requirements and standards as outline by the Town of Canmore and the Province of Alberta. Requirements may include, mechanical site plans, storm water management plans, proposed grading and landscaping plans.



## **V. COVE PROPERTIES SITE, DC-R3, LOT 1, BLOCK 1,**

**PLAN 011 1272, (SB-98-010)**

### **ARCHITECTURAL DESIGN GUIDELINES**

As well as the requirements outlined in the preceding sections, this site must also conform to Bylaw 1-98 DC and the conditions of subdivision approval SB 99-010. This site has revised development standards in accordance with the conditions of approval for SB 99-010 and the provisions of Bylaw 1-98DC. Conformity with the "Design Guidelines and Home Owner's Manual" does not supersede the Town of Canmore's municipal planning and permit requirements.

### **GENERAL INFORMATION**

This site is located within site 2A of the Three Sisters Mountain Village development area. The Bow River to the North, the Trans-Canada highway to the east, Three Sisters Parkway to the South and Wildlife Corridors to the West bound the Cove Properties site. Legally this site is described as Lot 1, Block 1, Plan 011 1272.

### **SITE VISIBILITY**

Views of this site from the Trans-Canada Highway will be protected by extensive natural vegetation that includes dense, tall stands of coniferous forest. This also includes the Environmental Reserve (ER) on the north side of the site, which will ensure the development will be imperceptible for Westbound TCH traffic. Views of the site for Eastbound TCH traffic will be negligible and limited to rooftops. Colours for these rooftops will be limited to natural shades that blend with the surrounding natural vegetation. At the time of submission to the Architectural Coordinator for approval prior to the Development Permit application, the applicant shall provide architectural renderings and perspectives showing views from numerous angles including views of the site from several locations along the Trans-Canada highway and from the left bank of the Bow River.

### **ARCHITECTURAL APPROVAL**

All developments in this district must receive written approval from United Communities prior to construction. Developments will be approved on a site-by-site basis. Units will not be required to exactly replicate building forms from the surrounding housing development, however exterior detailing should follow these general guidelines in all respects.

## **COVE SITE REQUIREMENTS**

### **GENERAL TOPOGRAPHY**

Due to the gentle sloping topography and surrounding coniferous forest vegetation of the site, planning is very important to the overall design. The design should take maximum advantage of the site while minimizing the disturbance and visual impact to the natural setting. Therefore, buildings will be aligned parallel to site contours to minimize site grading. This will allow buildings to be integrated into the site and step with the natural topography of the site.

## **SITE ACCESS**

One access to the site will be permitted from Three Sisters Parkway. Access must be perpendicular to Three Sisters Parkway and generally centered on the site. The centerline of the driveway must not be closer than 75.0m to any one side of the property line. Driveway slopes should not exceed 10%. Driveway width at any point shall not exceed 9.25m. Surface parking and vehicle access to be paved asphalt. All Town of Canmore Engineering Design Guidelines shall prevail.

## **TRAIL SYSTEMS**

A Multi-use (pedestrian & bicycle) trail connection must be constructed from the site to the public trail system in the vicinity and a trail constructed on the west boundary of the site in accordance with the conditions of approval for SB 99-010).

## **SETBACKS**

A 10.0m easement protects the front of the site adjacent to Three Sisters Parkway. This 10.0 meters is measured from the front property line and cannot be disturbed. During construction, this area must be fenced to prevent any vehicles from entering, material from stock piling, and construction activities that could impact surface vegetation and soil profile. All construction activities must be setback 2.5 meter from this easement effectively creating a construction buffer or transition area. This 2.5 meter setback area may be disturbed due to construction activity. Side yard setbacks will be a minimum of 3.0m. Rear yard setbacks will be a minimum of 30.0m from the ER line. All buildings adjacent to wildlife corridors will require a minimum setback of 12.5m from the corridor inclusive of the required 3.0m side yard setback.

## **DENSITY**

This site, as outlined in SB98-010, will be limited to a maximum of 250 dwellings and a minimum of 50 units will be limited to 1000 square feet in size or less.

## **SIGNAGE**

One sign will be located at the principle entrance to the property, which will be designed by Three Sisters but built by the Builder of the project. Additional identification and directional signage within the property may be provided. All other signs must be approved in writing by United Communities and meet Town of Canmore signage requirements.

## **LIGHTING**

Exterior building lighting will be provided using low wattage lights at building entrances only. All balcony lighting will be provided by concealed or flush mounted down lighting. Low-level lighting will be provided for pedestrian circulation.

Lighting for parking areas will meet Three Sisters design specifications and will to be directed downwards away from the wildlife corridor.

## EXISTING VEGETATION

The preservation of existing vegetation in approved tree retention areas shall be the main thrust behind all landscaping designs for this site. All existing vegetation 3.0m and beyond of all proposed buildings and surface improvements shall be fenced and protected against all construction activities. This vegetation is to be retained and will be identified on the landscaping plan submitted at the time of Development Permit. Existing vegetation not located within the construction limits must be preserved. Proposed landscaping designs shall include details on the methods of preserving natural vegetation during construction. Re-grading of the site is to be minimized in order to retain existing vegetation. The location and design of buildings should minimize disturbance to existing vegetation on the site.

## LANDSCAPING

A comprehensive landscape plan must be developed by a Landscape Architect. A minimum of 40% of the site area must be landscaped as per the Town of Canmore Land Use Bylaw. The maximum area of "hard" landscaping shall not be more than 1/2 of the landscaped area provided. Exposed aggregate, concrete or brick pavers, stone, crushed stone, and coloured, pattern-stamped concrete are examples of acceptable "hard" landscaping materials. Asphalt and plain finished concrete will not be counted as landscaped area. All sidewalks will be constructed of either flagstone, exposed aggregate or stamped patterned concrete.

Details such as retaining walls, plant species, grading, exfoliation and water features will be clearly outlined and provided as part of a development permit application. An "ecoscape" design will be encouraged and all plant species will be of an indigenous nature and acceptable to the Town of Canmore.

## COVE SITE BUILDING DESIGN REQUIREMENTS

### BUILDING MASSING AND HEIGHT

All elevations are to be given equal consideration. Variations in surface treatment by colour, texture and material will be used to provide interest and enhance character. Horizontal and vertical elements will be used to add interest to all facades. This is to provide a "base", "middle" and "top" to all structures. To mitigate the potential linearity of buildings, structures will provide relief by staggering building faces and recessing and projecting balconies. Monolithic building forms & massing are to be avoided. Rooflines are to be broken up to give the appearance that they are actually three or more units.



Dormer and loft development will be used to minimize the overall height. These dormers are to provide a gentle cascading effect to the main roof and must break up any continuous rooflines. To assist in this cascading effect, continuous unbroken ridgelines are not to exceed 15.24m(50') in length. Dormers must be used within this 15.24m to add visual interest to the roof. This distance may be increased to 20.0m(65.5') on the ends of the units only. In this instance the ends of the units will then also utilize cottage rooflines with two or more dormers. The resulting image should give the appearance of aggregation of smaller buildings. This would include no lengthy rooflines extending at the same height. Minimum roof slopes will be 6:12 however, all gables must utilize a slope of 12:12 or greater.

Building height, as outline by SB-99-010, shall be a maximum of 3 storeys plus loft. Maximum height should be 9.0 meters to the eave line, as measured from the existing grade. Loft development with dormers will provide variation at the roof level as will the roof ridgeline requirements previously listed. The building height shall not exceed 14.0 meters. However, if visually interesting architectural elements are incorporated into the roof building design the municipality may consider a variance to allow 20 % of the building's roof area to exceed the maximum height by up to 20 % to a maximum building height of 16.0 metres.

#### **ROOF MATERIALS**

Roof materials will be a heavy architectural asphalt shingle or concrete tile with a slate profile. Colours will be limited to tones matching the surrounding natural vegetation. Mechanical equipment located on the roof must be screened from all sides of the building. Noise from this equipment may also require screening and noise abatement architectural devices. Roof ventilators should be carefully detailed in gable ends, ridge vents or copulas or false chimneys.

#### **ENTRIES**

Entries will be accented with stone or portico detailing to relate street frontage to the pedestrian scale. Decks and balconies will be used to add architectural relief. Support structures for decks or balconies may be log, timber, stone or a mixture of such.

#### **EXTERIOR FINISHES**

Exterior wall finishes will be painted or stained wood or "Hardi-Plank" cement fiber siding; wood railing, color matched wood or metal fascia, and stone. Natural or synthetic stone materials indigenous to the area will be utilized for the building base and further accents. Shakes, horizontal battens, and log or timber accents will be introduced to provide additional interest.

#### **COLOURS**

All colours will be of natural shades that blend with the surrounding natural environment. Bright shades and pastel tones are not acceptable.

Window trims will be either a matching colour or tone on tone with the predominant siding colour. Reflective glazing is not acceptable.

#### **PARKING**

Parking shall be screened from view of public roadways. Measures to minimize surface parking are encouraged. Underground or covered parking is to be provided where possible.

Parking shall be provided in accordance with the Town of Canmore Land Use Bylaw.

#### **DEVELOPMENT PERMITS AND APPROVALS**

All developments must meet and provide all development requirements and standards as outlined by the Town of Canmore and the Province of Alberta. Such requirements will include but not be limited to mechanical site plans, storm water management plans, proposed grading and landscaping plans, and a site specific WHIP Plan.



## VI. LANDSCAPE GUIDELINES

### GENERAL LANDSCAPE DESIGN

#### GOALS

This section describes in detail the landscaping goals and requirements for the entire subdivision. An overall mandatory comprehensive landscape plan prepared by Three Sisters will serve as a base landscape palette. Within this Owners are encouraged to develop their own landscape design and improvements.

#### PLANTING

The intent of the Landscape Design Guideline is to achieve a balance of natural and manicured landscape within the overall context of the Bow Valley Rocky Mountain environment. The following guidelines are not intended to limit creativity, but promote an original blend of natural and designed landscape.

Within this premise there are several overlapping concerns that need to be clarified:

- Indigenous (native) plants – in some areas only indigenous plants are allowed
- Ornamental (non-native) plants – in some areas ornamental plants are not allowed.
- Bear palatable plants – these plants are not recommended in some areas and are not to be planted in large mass plantings.
- High and medium flammable plants – these plants are not allowed in some areas.
- Ungulate palatable plants – Home Owners should be aware that many plants are palatable to deer and elk, however, the guidelines do not limit the planting of these species. (See diagram p.38).

#### LANDSCAPE APPROVAL APPLICATION PROCESS

Proposed Landscape and Grading Plans are to be submitted by the Home Owner/Builder, as part of the house plan approval process. The Applicant must provide a landscaping plan at 1:100 metric scale (1/8=1' for imperial). A plan shall be submitted for the front, sides and rear of the lot. Completion of the rear yard Landscaping is necessary for refund of landscaping deposit. (See 'Landscape Design Requirements', p36).

#### COMPREHENSIVE LANDSCAPE PLAN FOR THREE SISTERS CREEK

Comprehensive Landscape Plan for the entire Three Sisters Creek subdivision is currently being developed. This plan will illustrate preferred and/or mandatory planting, re-vegetation or areas of no disturbance that must be followed. Owners will coordinate their personal landscaping plans into their overall plan. The Architectural Coordinator will explain to homeowners how this plan will be initiated during the design review process.

Include on the Landscape Plan (including specified materials) the following:

- Building locations (include neighbouring houses if known)
- Trees to be Removed (6" diameter or greater)
- Planting location of: planters, lawns, new trees, natural ground cover areas, and associated plant species
- Specify all new plant species on plan (see 'Approved List' in design manual appendix)
- Method of irrigation
- Sidewalks and stairways
- Parking and driveways
- Decks, patios and courtyards
- Greenhouses and playhouses
- Awnings, fences, screens (materials)
- Retaining walls, materials
- Exterior planting lights, show all exterior lights

- Garage, accessory buildings, and other out-buildings,
- Demonstrate blending of landscaping with neighboring lots
- Drainage Patterns
- Any proposed retaining walls

The plan must be approved prior to landscape construction and final inspection. Please forward your plan to **United Communities™** for review and approval. Once landscaping is complete and ready for inspection please forward Request For Landscape Inspection Form to **United Communities™**. When the final landscape inspection reveals that the landscaping is complete and acceptable **United Communities™** will refund the balance of the security deposit.

### **LANDSCAPE DESIGN REQUIREMENTS**

All landscaping must comply with the Land Use Bylaw for the Town of Canmore - see Part 'C' - "General Regulations". Town of Canmore; Environmental Services (Parks Department); Town of Canmore Engineering and Design Guidelines latest edition.

#### **Include on the Grading Plan:**

- Existing contours at 0.5m (or 1 foot) intervals.
- Proposed contours at 0.5m (or 1 foot) intervals.
- Curb, back of walk, road elevations.
- Percentage of slope on all hard and soft landscape areas.
- All spot elevations, exterior elevations around building perimeter, floor elevations, existing tree elevations.
- Surface drainage.
- Building elevations on adjacent properties.
- Detailed grading in sideyards showing coordination of slopes and drainage between properties.

### **EXISTING VEGETATION AND TREES**

The desired approach for Three Sisters Creek is to have the visual impact of buildings minimized and blend with the natural forest backdrop. Retention of native planting in approved areas is encouraged and can be used in lieu of new plants.

### **LOT FRONTAGE**

Lot frontage natural areas are meant to flow between lots with plants or native grasses and natural materials. Additional planting may be included in these areas as part of Three Sisters comprehensive landscape plan. The main requirement is to provide an island(s) of natural vegetation. Maintained lawns, rock, or bark chips should not predominate. One material alone will not be allowed to dominate the front area.



## LAWN AREAS

No more than 50% should be maintained lawn. The street-side landscaping for homes should achieve a blend of natural and manicured landscapes within the wildfire protection guidelines. (See fire risk protection landscape diagram). This is intended to visually reinforce the Rocky Mountain setting. Natural vegetation (native grasses or plants) along the edge at property lines of front yards is mandatory and will be part of the Comprehensive Landscape Plan. Some element of shrubbery or established native landscaping will touch the front curb or sidewalk. Lawns should not form a straight line along the property lines but be separated by natural looking landscape elements such as rock forms, trees, wild flowers etc.

## NEW TREES AND SHRUBS

Due to site grading and building construction existing plants and trees may be removed from the site. The intent of adding new plants is to compensate for this loss. However, if numerous existing mature trees are present in the front area this requirement may be waived.

3 new trees and 10 new shrubs from the approved plant list are to be planted in the front yard. Minimum requirements for trees to be: at least 1800mm (6') tall for coniferous and at least 50 mm (2") caliper for deciduous (caliper is the trunk diameter 300mm (1") above grade).



## SIDE AND REAR YARDS

Landscaping of front, side and rear yards must be completed prior to release of landscape deposit.

## TERRACING

Creosote impregnated materials (for example railway ties) are not permitted as a form for terracing due to health and safety reasons. Rockwork & tumbled precast concrete (Allen) block are acceptable in dark colors to match the existing natural site colors. Dimensioned 6X6 or greater Pressure Treated timbers are acceptable with planting to trail over the wood when the wall is visible from Public areas and roadways.

## LIGHTING

Lighting is to be minimized, and used essentially to meet the requirements of safety and easy identification of entrances, driveways and walks. One or two exterior ornamental light fixtures or lanterns may be permitted at key arrival or entry points. They shall have a weathered look and convey the architectural theme of the building and Three Sisters Creek. All other exterior light sources are to be indirect to prevent light pollution. Temporary Christmas lighting is the exemption. "Moonlighting" and up lighting of vegetation or structures is not permitted. No lighting is permitted within 12.5m of all wildlife corridors. These should be illustrated on the Landscape Plan submitted.

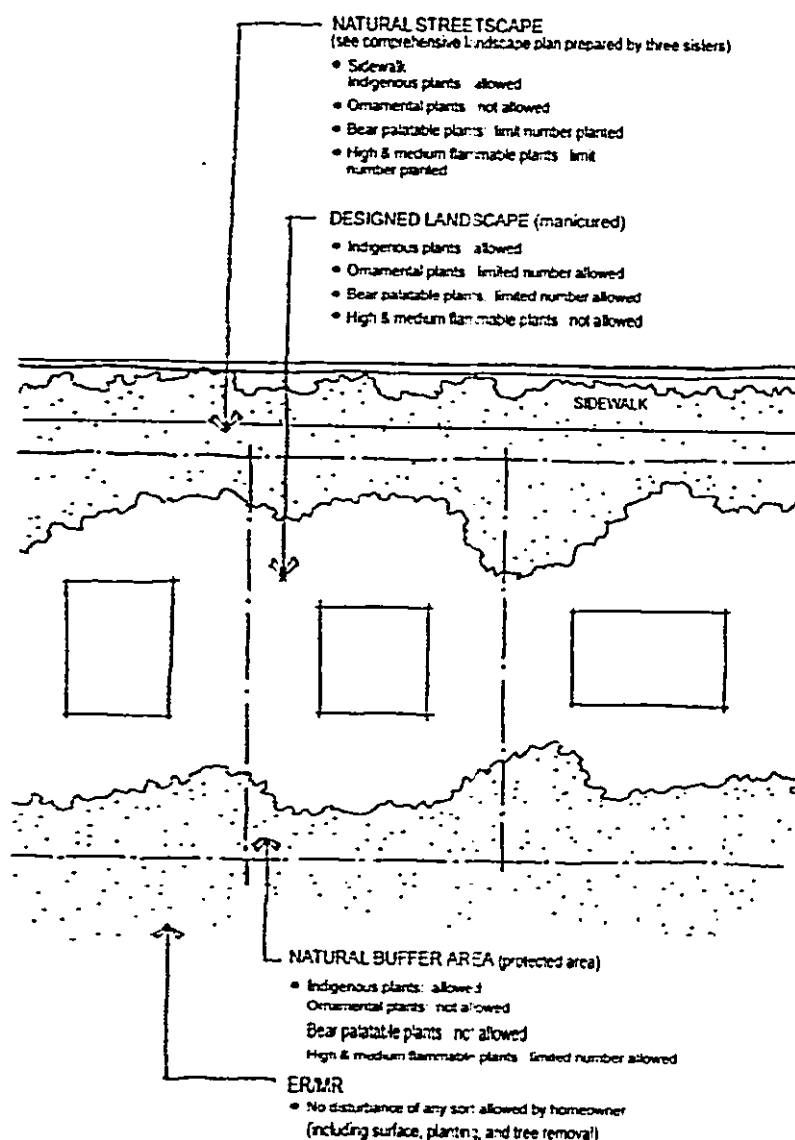
## PATHWAYS / PATIOS

Flagstone or exposed aggregate concrete is encouraged for use in these areas.

## IRRIGATION / MAINTENANCE

All landscape plans to outline method of landscape irrigation. Automatic underground irrigation system is recommended for landscape establishment and wildfire protection.

All landscape material to be guaranteed for a period of two years.



## PROPOSED LANDSCAPE ZONES AND ALLOWED PLANT MATERIAL

## RECOMMENDED PLANT SPECIES

The following trees and shrubs are native to the Province of Alberta and are recommended for landscape planting in the Town of Canmore. Plants marked with an asterisk (\*) are non-native but suitable for re-vegetation.

### \*\*HIGHLY FLAMMABLE

(not recommended in residential) (See fire resistant list)

### CONIFEROUS (EVERGREEN) TREES

- |                     |   |
|---------------------|---|
| • Lodgepole Pine    | <i>Pinus contorta latifolia</i>                 |
| • Limber Pine       | <i>Pinus flexilis</i>                           |
| • **Engleman Spruce | <i>Picea engelmannii</i>                        |
| • White Spruce      | <i>Picea glauca</i>                             |
| • Black Spruce      | <i>Picea mariana</i>                            |
| • **Douglas Fir     | <i>Pseudotsuga Menziesii</i> var. <i>Glauca</i> |
| • Western Larch     | <i>Larix occidentalis</i>                       |

### CONIFEROUS (EVERGREEN) SHRUBS

- |                            |   |
|----------------------------|---|
| • **Common Juniper         | <i>Juniperus communis</i>                         |
| • **Creeping Juniper       | <i>Juniperus horizontalis</i> - various cultivars |
| • **Rocky Mountain Juniper | <i>Juniperus scopulorum</i>                       |

### DECIDUOUS TREES

- |                        |   |
|------------------------|---|
| • Rocky Mountain Maple | <i>Acer glabrum</i>                               |
| • River Birch          | <i>Betula occidentalis</i>                        |
| • Paper Birch          | <i>Betula papyrifera</i> (susceptible to disease) |
| • Siberian Larch       | <i>Larix sibirica</i>                             |
| • Balsam Poplar        | <i>Populus balsamifera</i> - male only            |
| • Trembling Aspen      | <i>Populus tremuloides</i>                        |
| • Pussy Willow         | <i>Salix discolor</i>                             |
| • *Green Ash           | <i>*Fraxinus pennsylvanica Lanceolata</i>         |
| • *Brooks #6 Poplar    | <i>*Populus X 'Brooks #6'</i>                     |

### DECIDUOUS SHRUBS

- |                            |   |
|----------------------------|---|
| • Green Alder              | <i>Alnus crispa</i>                             |
| • Saskatoon                | <i>Amelanchier alnifolia</i>                    |
| • Shrubby Cinquefoil       | <i>Potentilla fruticosa</i> - various cultivars |
| • Alpine Currant           | <i>Ribes alpinum</i>                            |
| • Golden Flowering Currant | <i>Ribes aureum</i>                             |
| • Prickly Rose             | <i>Rosa acicularis</i>                          |
| • Common Wild Rose         | <i>Rosa woodsii</i>                             |
| • Red Elderberry           | <i>Sambucus racemosa</i>                        |
| • Snowberry                | <i>Symphoricarpos albus</i>                     |

(Taken from: Town of Canmore: Environmental Services - Parks Department; Town of Canmore Engineering and Design Guidelines latest edition).

The Canmore area is characterized by a short growing season, severe temperature fluctuations and Chinook winds. All these facts combine to limit the species of plants that will survive in this region. It is important to stress that plant maintenance and seasonal protection are necessary to ensure survival.

#### PLANT SPECIES LIST NOT RECOMMENDED (GRIZZLY BEAR ATTRACTIONS)

These plant species are found in the Grizzly Bear CEA study area and are known from previous studies to be eaten by grizzly bears. Plants marked with a double plus (++) are also on the Town of Canmore Approved Plant Species List. Although approved by the Town these plants are not suggested for planting unless the plumes are taken off every year to prevent any bear attraction.

#### THESE PLANTS ARE NOT RECOMMENDED IN NATURAL AREAS AND ARE NOT TO BE PLANTED IN LARGE MASS PLANTINGS:

##### BERRIES AND FRUITS

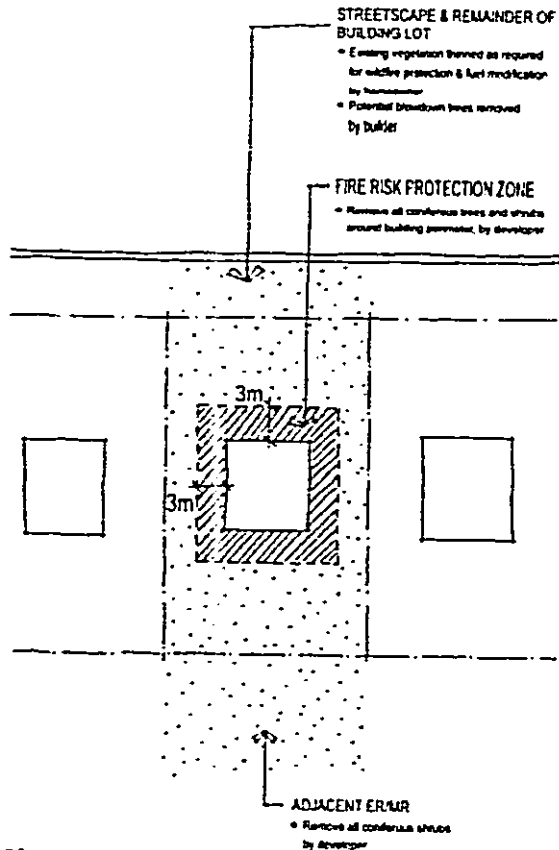
- \*\*Alpine Bearberry
- Blueberry
- Bog Cranberry, Cow-berry
- \*\*Buffalo Berry
- Common Bearberry, \*\*Kinikinnick
- Cowberry
- Dwarf Bilberry
- Elderberry
- Grouse-berry
- Honeysuckle, Twinberry
- Low-bush Cranberry, Mooseberry
- \*\*Mountain Ash
- Pin Cherry, Choke Cherry, May Day
- Raspberry, Bramble
- \*\*Red Osier, Dogwood
- Service-berry, June-berry
- Tall Bilberry
- Wild Red Raspberry
- Wild Currants and Gooseberries
- Wild Strawberry
- Grass and Grass like Plants (avoid use of grasses in residential areas)
- Northern Awnless Brome
- Sedges Tufted Hair Grass
- Trisetum



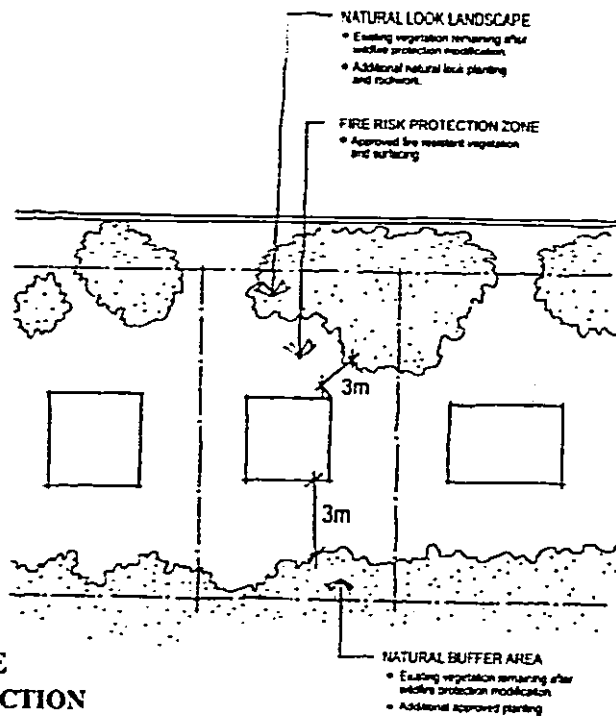
##### HERBS AND OTHERS

- Common Field Horsetail
- Cow Parsnip
- Mountain Sorrel
- Vetchling, Pea Vine
- Wild Vetch

## EXISTING LANDSCAPE WILDFIRE RISK PROTECTION



## PROPOSED LANDSCAPE WILDFIRE RISK PROTECTION



## **FOREST FIRE PRECAUTIONS - SEE FIRE RISK PROTECTION LANDSCAPE DIAGRAM**

As development within Three Sisters Creek will occur within natural forest areas it is important to be aware of wildfire precautions. The goal of this section is to raise awareness of wildfire prevention with respect to landscape development. The following does not guarantee that the property will be protected in case of such an event. Under no circumstances should flammable materials (e.g. firewood) be stored under decks or against the house. Please also see the Wildfire Prevention section in the Home Owner Manual.

## **SURFACE COVER FOR FIRE RESISTANCE - SEE FIRE RISK PROTECTION LANDSCAPE DIAGRAM**

Surface cover of non-combustible material includes a combination of green maintained lawn, crushed rock, rock gardens, hard surfaced driveways and patios, such as exposed aggregate, paving blocks or concrete, are encouraged. If native ground cover is preferred over a non-combustible buffer, then stone or rock, paving stones, concrete, lawn should surround the structure and underneath all raised decks. This provides a Fire Risk Protection Zone between the structure and approaching surface fire.

## **FIRE RISK PROTECTION ZONE AND TREE THINNING**

The Fire Risk Protection Zone is to be a 3.0m buffer surrounding the house. All coniferous trees and shrubs within and overhanging this area must be removed. All other coniferous trees on the lot must be thinned to a minimum of 4.0m between the crowns (approx. 8.0m between trunks).

## **TYPE CONVERSION - ALTERNATE VEGETATION**

By blending the previous guidelines with the following alternate vegetation options, the community will be involved in removing highly flammable plants and replacing them with fire resistive plants. This is called Type Conversion. An example is a highly flammable species located beside a structure being replaced with watered lawn and low fuel volume plant material that is low growing and woody. The use of fire resistant vegetation will not necessarily be approved.

## **CHARACTERISTICS OF FIRE RESISTANT VEGETATION**

While most plants will burn under extreme fire weather conditions such as drought aggravated by high winds, they will burn at different intensities and rates of spread. Fire resistive plants burn at a relatively low intensity, with a low rate of spread.

Residents should attempt to utilize fire resistive vegetation when planting new landscapes and in converting from high flammable plant and tree species.

**The following is a list of characteristics of fire resistant vegetation:**

- Growth with little or no dead vegetation.
- Non-resinous plants such as deciduous plants.
- Low volumes of vegetation.
- Vegetation that contains a large amount of water.
- Drought tolerant plants such as deeply rooted plants with thick, heavy leaves.
- Forest stands without ladder fuels. Trees with fewer branches between the ground and the canopy of overtopping shrubs and trees.
- Low maintenance vegetation. Slow growing plants requiring little care.
- Plants with woody stems and branches that require prolonged heating to ignite.



## CHARACTERISTICS OF HIGHLY FLAMMABLE VEGETATION

The first step in practicing vegetation management is to determine which characteristics of vegetation make one species more flammable than another. The most flammable trees and plants accumulate quantities of dead foliage and branches. Needles, leaves and branches have high oil and resin content and contain low amounts of water.

When planting a new landscape, Home Owners should avoid use of species with these characteristics. Highly flammable trees or plants that are essential to landscape appearance should be well maintained. All plants are flammable if not pruned periodically, and the risk attached to any one plant can be greatly diminished with maintenance.

The following is a list of characteristics of highly flammable vegetation. These plants should not be used in Fire Resistant zone:

- Resinous plants (coniferous) that produce flammable sap or pitch (e.g. pine or juniper)
- Vegetation subjected to drought will contain very little moisture. Shallow-rooted or wet site plants, when subjected to drought, will also develop low live fuel moisture condition.
- Forest areas containing 'ladder fuels' - lower branches and immature trees that can 'ladder' a ground fire into the upper branches or 'crown' of the forest (e.g. spruce).
- High maintenance vegetation is plants or plant communities that grow or reproduce rapidly, such as annual grasses.
- Flash fuels are plants that ignite easily and burn rapidly, such as dry grass or native grasses.



## PLANT SPECIES BY FIRE RESISTANCE

The charts below provide the approved plant list and a useful comparison of relative flammability and fire resistance of common conifers and deciduous plants. Home Owners can use these charts when selection new vegetation to replenish and or replace highly flammable vegetation with low flammable vegetation.

These flammability ratings are not based on any scientific studies, but are to give the Home Owner some guidelines based on the characteristics of flammable and fire resistant vegetation. All plants are flammable, but it will vary based on the degree of maintenance given to the plants and the weather/drought conditions at the time.

## RELATIVE FIRE RESISTANCE OF SOME COMMON CONIFER TREES & SHRUBS

Plants of medium and high flammability are not to be planted in the Fire Risk Protection Zone.

SPECIES:                      FLAMMABILITY OF FOLIAGE:                      DEGREE OF FIRE RESISTANCE:

### TREES

Western Larch	Low	Very High
Siberian Larch	Low	Very High
Lodgepole Pine	Medium	Moderate
Limber Pine	Medium	High
Douglas Fir	High	Low
Engelman Spruce	High	Low

### SHRUBS

Juniper	High	Low
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# RELATIVE FIRE RESISTANCE OF COMMON DECIDUOUS TREES AND SHRUBS:

SPECIES: FLAMMABILITY OF FOLIAGE: DEGREE OF FIRE RESISTANCE:

## TREES

Trembling Aspen	Low	Very High
Balsam Poplar	Low	Very High
Birch	Low	Very High
Rocky Mountain Maple	Low	Very High
Green Ash	Low	Very High
Willow Tree	Low	Very High
Elm	Low	Very High

## SHRUBS

Shrubby Cinquefoil	Medium	Moderate
Green Alder	Low	High
Caragana	Low	High
Cotoneaster	Low	High
Wolf willow	Low	High
Spiraea	Low	High
Snowberry	Low	High
Lilac	Low	Very High
White Meadowsweet	Low	Very High



## VII. REVIEW PROCESS

The following architectural approval process has been developed by United Communities™ to ensure that the desired theme for Three Sisters Creek proceeds in a user-friendly progression. In addition to the review and approval requirements of United Communities™, the Builder is to obtain all necessary approvals, inspections and permits from the Town of Canmore.

### PRE-SUBMISSION MEETING – STAGE I OR STAGE II

Once you have developed a concept of your plan it is recommended you meet with the Architectural Coordinator to review your plans. This meeting will provide you with valuable feedback regarding elevation details and other site information you may not have considered. This process will assist you in ensuring your plans correspond to the design guidelines that have been set out for Three Sisters Creek.

Concept plans should include preliminary massing drawings as well as preliminary elevations, plot plan, colours and landscape plans. The elevations on the Plot Plan must be consistent with the approved Development Grading Plan for the subdivision. Plans should consider sun and view angles, existing vegetation and site gradients.

### SECURITY DEPOSIT

Deposits of \$3000.00 (construction deposit) and \$2000.00 (landscape deposit) are required on all lots in Three Sisters Creek before grade slip release from United Communities. Cheques are to be made out to Three Sisters Properties Partnership. No interest will be paid on these deposits. Three Sisters Properties Partnership will hold the deposit until such time as the Builder has requested a final inspection of the house, lot and landscaping with the completed inspection confirming adherence to the design guidelines. Due to seasonal demands, requests for house and lot inspections can be made prior to completion of landscaping.

### INITIAL LOT INSPECTION – STAGE I

Builders are required to carry out an initial inspection in the time period outlined in the purchase agreement. All damage such as concrete, curb, sidewalk, curb stops or other damage **MUST** be reported. If this pre-inspection report is not on file the Builder will be responsible for all applicable damages. Snow coverage is not a sufficient reason for incomplete inspection reports.

### DESIGN REVIEW PROCESS

The Builder shall submit for final approval, two copies of the following information to United Communities™:

- Drawings of the house plans, elevations and sections at 1:50 metric or 3/16", 1/4" or 1/8" = 1"0" scale.
- A site plan by a professional surveyor, at 1:200 scale (metric) identifying all of the information listed on the house plan approval form.
- Landscape Plans as described in Section VI Landscape Guidelines. Site plan showing proposed material stock piling area. As well as all existing vegetation, proposed tree removal or thinning plan, existing grades and toe of all slopes.
- A completed application form for house plan approval indicating colors, materials and other specific information as requested on the form.
- Building Elevations or renderings showing proposed colour scheme and colour locations and colour/product schedule.

## LANDSCAPING AND GRADING PLANS (SEE LANDSCAPE APPROVAL SECTION)

The Architectural Coordinator will review the submission and recommend approval, modification or rejection of the application based on the adherence of the plans to the design guidelines and will review and approve or modify the design grades and issue the grade slip. Once approved, the grade slip, original application form and one set of prints will be returned to the Builder. Incomplete submissions will be returned without review.

Upon approval and grade slip release, the Builder can then make submissions to the Town of Canmore for a Building Permit. Any subsequent changes by the Builder, from plans previously approved, must be submitted to **United Communities™** and approved in writing. A \$100.00 fee will be charged for these changes.

**United Communities™** will carry out periodic on-site inspections during construction to ensure compliance with approved plans. Modifications may be requested in writing to accommodate changes related to actual site conditions.

## INSPECTION PROCEDURES FOR DEPOSIT REFUNDS

Upon being advised by the Builder/Owner, of completion of the homes, a final inspection will be carried out by **United Communities™**, which will confirm compliance to the guidelines and the approval previously granted. Upon receipt of the final inspection form, the security deposit refund will be calculated, or a list of deficiencies will be issued which the Builder must complete prior to release of the security deposit. **United Communities™**, at the sole cost of the Builder/Owner, may request as-built grades to confirm the existing grades at the time of inspection. The Builder will immediately rectify all deficiencies and request a second site inspection by **United Communities™**. If additional inspections are required after the second visit, a fee of \$300.00 per inspection will be deducted from the security deposit. The refund payment will be made in accordance with the provisions of the purchase agreement.

Construction deposit will be returned following satisfactory completion of critical elements of the project, these include:

- Sidewalks.
- Driveways.
- House and all exterior house features completed as approved by **United Communities™**.
- Town of Canmore water shut off valve (curb stops) must be visible, raised to final grade, accessible and functioning to the satisfaction of the Town of Canmore.
- Lot is to be leveled to grade and free of weeds.
- All retaining walls outlined on the approved submission must be built and reviewed as required prior to release of any damage deposits.

## REQUIREMENTS FOR FINAL INSPECTION - LANDSCAPING

The landscape deposit will be returned following satisfactory completion of critical elements in the front, side and rear yards. These include ground cover, sidewalks, driveway, and additions of necessary trees and shrubs.

A broom cleaned condition with all construction materials and debris removed.

Town of Canmore water shut off valve (curb stop) must be visible and raised to final grade, accessible and functioning to the satisfaction of the Town of Canmore.

Any cost associated with the repair or replacement of damaged pavement, curbs and sidewalks or infrastructure if not previously documented will be the responsibility of the Home Owner.



## APPLICATION FOR HOUSE AND LANDSCAPE PLAN APPROVAL

Phase \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Plan \_\_\_\_\_  
Civic Address \_\_\_\_\_

### APPLICANT

Builder: \_\_\_\_\_ Contact Person: \_\_\_\_\_  
Address: \_\_\_\_\_ Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

### ARCHITECT/DESIGNER (if different from above)

Company: \_\_\_\_\_ Contact Person: \_\_\_\_\_  
Address: \_\_\_\_\_ Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

### HOUSING DESIGN

House Type: (1) 2-Storey, (2) Bungalow, (3) 1 ½ Storey, (4) Split, (5) Bi-Level

Model/Job Number: \_\_\_\_\_

Main Floor Sq. Ft.: \_\_\_\_\_ Total Developed Sq. Ft.: \_\_\_\_\_

Roof Slopes: \_\_\_\_\_

### SETBACKS AND GRADE INFORMATION

#### Setbacks:

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Left Side: \_\_\_\_\_ Right Side: \_\_\_\_\_

Roof Height: Front: \_\_\_\_\_ Rear: \_\_\_\_\_

Hmax: Front: \_\_\_\_\_ Rear: \_\_\_\_\_

#### Grades:

(to be in accordance with the approved Development Grading Plan)

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Left Side: \_\_\_\_\_ Right Side: \_\_\_\_\_

Entrance Grade: \_\_\_\_\_

@ 6m grade elevation: Left Side: \_\_\_\_\_ Right Side: \_\_\_\_\_

@ 12m grade elevation: Left Side: \_\_\_\_\_ Right Side: \_\_\_\_\_

**\*Finished Landscaped Grades at House Corners (left and right as viewed from street):**

Actual Top of Footing: \_\_\_\_\_ Lowest Top of Footing: \_\_\_\_\_

Top of Main Floor Joists: \_\_\_\_\_ Front of Garage: \_\_\_\_\_

EXTERIOR FINISHES	MATERIAL	MANUFACTURER	COLOUR
Roof	_____	_____	_____
Walls-General	_____	_____	_____
Walls-Secondary	_____	_____	_____
Gable Ends	_____	_____	_____
Stone	_____	_____	_____
Windows	_____	_____	_____
Muntin Bars	_____	_____	_____
Trim Battens	_____	_____	_____
Fascia	_____	_____	_____
Soffits	_____	_____	_____
Rainware	_____	_____	_____
Entry Door(s)	_____	_____	_____
Garage Door(s)	_____	_____	_____
Entry Decking	_____	_____	_____
Driveway	_____	_____	_____
Other	_____	_____	_____
Other	_____	_____	_____
Other	_____	_____	_____
Other	_____	_____	_____

A site plan with the following information must be provided. The builder is responsible to confirm on site that the information submitted and reviewed matches the actual site conditions before starting construction.

**SITE PLAN REQUIREMENTS including Landscape and Grading Plans**

(see Landscape Guidelines)

- Dimensions of lot
- Dimensions of building
- Dimensions of property lines
- Location of driveway and slope of driveway
- Indicate all easements
- Indicate locations of all retaining walls
- Location of all drainage swales and drainage patterns
- Location of underground water lines, sanitary and storm lines
- Proposed elevations at each corner of the house, garage slab, top of footing and top of joists
- Indicate all roads, lanes, sidewalks and gutters adjacent to property

- k.) Indicate all hydrants, light poles, power poles, transformers, telephone pedestals etc. on or adjacent to the property
- l.) Indicate all thinning and removal
- m.) Indicate material stock piling area
- n.) Indicate all existing trees and vegetation

## USE OF HOUSE PLAN APPROVAL SERVICES

The applicant acknowledges that the house plan approval is provided as a service and that the developer and its architectural co-ordinator assume no responsibility for the accuracy of the information provided, or for any losses or damages resulting from the use thereof.

The applicant further acknowledges that they will hold the developer and its architectural co-ordinator harmless from action resulting from the use of this information.

Date: \_\_\_\_\_ Signature of Applicant: \_\_\_\_\_

## CONDITIONS OF APPROVAL

1. Finished grade to be in accordance with the plot plan. The builder is responsible for proper drainage of the lot based on the subdivision design.
2. The builder is responsible for ANY retaining walls that may be required due to grading.
3. Maximum of 16" parging showing on all elevations, including walkouts.
4. All roof vents and/or flashing are to match the roof colour.

The following are additional conditions of approval:

### Grades

Approved - As Noted \_\_\_\_\_ Date: \_\_\_\_\_

### Architectural

Approved - As Noted: \_\_\_\_\_ Date: \_\_\_\_\_

DEVELOPER:  
United Communities™

Suite 200  
808 4th Ave SW  
Calgary, AB T2P 3E8

(403) 265-6180

Greg Varnochino

Fax: (403) 265-6270

Email: [inquiries@unitedcommunities.com](mailto:inquiries@unitedcommunities.com)

ARCHITECTURAL CONTROL:

United Communities™

Suite 200

808 4th Ave. SW

Calgary, AB T2P 3E8

(403) 265-6180

Tyler Stevenson

Fax: (403) 265-6270

ENGINEERS:

Stantec

500, 1122 4th St. SW

Calgary, AB T2R 1M1

(403) 716-8000

Russ Mackenzie

Fax: (403) 716-8059



## INITIAL LOT DAMAGE INSPECTION FORM

SUBDIVISION: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

LOT# \_\_\_\_\_ BLOCK# \_\_\_\_\_ PHASE \_\_\_\_\_

DESCRIPTION	CHECK IF OK	DAMAGE NOTED
Sidewalk	_____	_____
Curb and Gutter	_____	_____
Conc. Drainage Swales	_____	_____
Valve to Grade and Operational	_____	_____
5m No Disturbance	_____	_____
Zone Protection	_____	_____
E.R. / Other	_____	_____

### GENERAL COMMENTS:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

INSPECTED BY: \_\_\_\_\_ DATE: \_\_\_\_\_





## REQUEST FOR FINAL LOT DAMAGE / DEPOSIT RELEASE AND ARCHITECTURAL INSPECTION FORM

REQUESTS FOR FINAL INSPECTION MUST BE SUBMITTED ONLY WHEN CONSTRUCTION IS COMPLETE AS PER APPROVAL AND THE SERVICE VALVE IS EXPOSED, GRADING IS COMPLETE AND DRIVEWAY IS COMPLETED. THERE WILL BE A \$300.00 CHARGE FOR ANY ADDITIONAL INSPECTIONS REQUIRED DUE TO CONSTRUCTION NOT BEING COMPLETE.

SUBDIVISION: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

LOT# \_\_\_\_\_ BLOCK# \_\_\_\_\_ PHASE \_\_\_\_\_

### DESCRIPTION CHECK IF OK DAMAGE NOTED

- Driveway Complete	_____	_____
- Sidewalk Curb	_____	_____
Complete		
- House and Lot	_____	_____
Graded/Loaded	_____	_____
- Exterior Painting	_____	_____
- Window Wells	_____	_____
- Parging	_____	_____
- Site Cleanup	_____	_____
- Elevations as	_____	_____
Approved		
- Valve to Finished Grade	_____	_____
and Operational		

### COMMENTS:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

INSPECTED BY: \_\_\_\_\_ DATE: \_\_\_\_\_



**REQUEST FOR FINAL LANDSCAPE / DEPOSIT  
RELEASE INSPECTION FORM**

REQUESTS FOR FINAL INSPECTION MUST BE SUBMITTED ONLY WHEN LANDSCAPING IS COMPLETE AS PER APPROVAL AND THE SERVICE VALVE IS EXPOSED, GRADING IS COMPLETE AND DRIVEWAY IS COMPLETED. THERE WILL BE A \$300.00 CHARGE FOR ANY ADDITIONAL INSPECTIONS REQUIRED DUE TO CONSTRUCTION NOT BEING COMPLETE.

SUBDIVISION: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

LOT# \_\_\_\_\_ BLOCK# \_\_\_\_\_ PHASE \_\_\_\_\_

DESCRIPTION	CHECK IF OK	DAMAGE NOTED
Established Surface Cover	_____	_____
Trees Located as Approved	_____	_____
Approved Shrubs Located as	_____	_____
Other Landscaping as Approved	_____	_____

COMMENTS:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

INSPECTED BY: \_\_\_\_\_ DATE: \_\_\_\_\_



02123756

02123756 REGISTERED 2002 07 10  
RESC - RESTRICTIVE COVENANT  
DOC 1 OF 1 DRR#: 9993271 ADR/SELLIOTT  
LINC/S: 0028839983 +

#1000, 1520 - 4<sup>th</sup> Street S.W.  
Calgary, Alberta  
T2R 0Y4

RESTRICTIVE COVENANT  
RE: Architectural Controls  
The Cove

THREE SISTERS RESORTS INC.

DATED: July 3, A.D., 2002

WFF